

ADDENDUM 1

ADDENDUM DATE: December 26, 2024

PROJECT: McGee Building “One Door” Renovation – Phase 1
3505 Arendell St
Morehead City, NC 28557

OWNER: Carteret Community College
3505 Arendell St
Morehead City, NC 28557

ARCHITECT: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, North Carolina 27607

BIDS DUE: **2:00pm January 07, 2025**
McGee Board Room
3505 Arendell St
Morehead City, NC 28557

Please note – Project Documents, Addenda, and Contractors list are available at www.smithsinnett.com under the ‘Documents’ icon on the navigation bar.

Among other items, this Addendum addresses issues raised in the Pre-Bid Meeting held on December 17, 2024 at 10:00 a.m. Updated Pre-Bid Agenda notes and Sign-In sheet of those that attended are attached.

This Addendum shall be included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

GENERAL

1. CLARIFICATION REQUEST: Is work able to be done on nights of weekends?
RESPONSE: Yes. It is preferred that loud work (i.e: concrete cutting) happen outside of classroom hours, 8am-5pm.
2. CLARIFICATION REQUEST: What is the dimension from slab to bottom of deck?
RESPONSE: The floor-to-floor height is 13'-4". The second floor slab is expected to be a typical 4" slab.
3. CLARIFICATION REQUEST: Where are materials to be taken into the building and where are materials to be taken out? Is there a lay-down area?
RESPONSE: A lay-down area will be coordinated with the owner and GC. There is a side parking lot near the welding/HVAC shops that appears ideal. See Contractor Work Area Exhibit included in this Addendum.
4. CLARIFICATION REQUEST: Where are dust partitions and/or floor protection needed?
RESPONSE: Accessible means of egress must be maintained at all times. See contractor work area exhibit attached. Dust partitions shall be opaque and shall be provided to separate all construction areas from occupied areas so students/staff/visitors cannot accidentally walk into or entry the construction work area. The opaque partition is required so students/staff/visitors cannot see into the construction area and gives a more presentable appearance in occupied areas.

DRAWINGS

1. REVISION: A0-10, A7-01, A9-00.
 - a. The demo and installation for a stub-up in the breakroom is to be in base bid.
 - b. Replace Sheets A0-10, A7-01 and A9-00 with the updated sheets attached in this Addendum.
2. REVISION: E1, E3.
 - a. Replace Sheets E1 and E3 with the updated sheets attached in this Addendum.
3. REVISION: P1, P2.
 - a. Replace Sheets P1 and P2 with the updated sheets attached in this Addendum.

EXISTING DRAWINGS

1. **Drawing Request:**
 - a. A request has been made for the building's existing drawings. Contractor to note these drawings are for *reference only*. As-built conditions may differ due to renovations and field changes at the time of construction. Please note the presence of existing grade beams and coordinate trenching depths.
Link: <https://smithsinnett.sharefile.com/public/share/web-s3407597b507b49778607155ba89e80e4>

End of Addendum 1

Attached:

Pre-Bid Conference Agenda (4 pages)

Pre-Bid Meeting Sign-In Sheet (1 page)

Updated Architectural Sheets: A0-10 Demolition Plan, A7-01 Finish Plan. A9-00 Alternate 1 - Breakroom (3 pages)

Contractor Work Area Exhibit (1 page)

Updated Electrical Sheets: E1 Electrical Cover Sheet, E3 Power Plan (2 pages)

Updated Plumbing Sheets: P1 Plumbing Ex. Conditions, P2 Plumbing Plan (2 pages)

Pre-Bid Conference Agenda**December 17 at 10:00 a.m.****McGEE BUILDING “ONE DOOR” RENOVATION – PHASE 1**

Location: 3505 Arendell St
Morehead City, NC

Owner: Carteret Community College
3505 Arendell St
Morehead City, NC

Architect: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
Phone: (919) 781-8582

Leanne Crow, AIA - Project Architect

On behalf of the Owner and Smith Sinnett Architecture, we would like to thank you for your interest and attendance at this Pre-Bid Conference.

I Bid:

Sealed Bids from Single Prime Contractors will be received and publicly opened at:

2:00 p.m. on January 07, 2025

McGee Building Board Room
3505 Arendell St
Morehead City, NC

II Bid Day Documents:

1. Proposal Form Pages 1 through 6.
2. Minority Business Participation Form and/or Affidavit.
 - a. Identification of HUB Certified / Minority Business Participation Form Required.
 - i. Name on Form must be the exact name as provided to the NC Office for HUB.
 - b. Affidavit A or Affidavit B.
3. Bid Bond (5%) or Certified Check (5%)
4. Bid envelope should be sealed with the following information listed on the outside of the envelope.
 - a. Bidder's Name and Address
 - b. North Carolina Contractor's License Number
 - c. Name of Project
5. If awarded the Contract, the Bidder must provide an executed Performance Bond and Payment Bond for 100% of the Contract.
6. Certificates of Insurance and matching endorsement must meet the requirements indicated in the Specifications.
7. Acknowledgement of Addendums, Allowances, and Include Unit Prices
8. Any bids that have qualifying notes or comments will be rejected.

III Bid Opening:

1. For mailed bids:
 - a. It's the contractor's responsibility to ensure the bid arrives prior to the bid opening time. If you wish to send your bid via US Mail, FedEx or UPS, please allow several days for delivery since the bid must be received (NOT postmarked) by the date and time stated in the solicitation.

Pre-Bid Conference Agenda**December 17 at 10:00 a.m.**

- b. Place the bid in a double envelope with “Sealed Bid Do Not Open” written on the envelope.
 - c. Sealed envelope will be held and unsealed at the bid opening time.
 - d. Project Name must be clearly marked on the outside of the sealed envelope.
 2. For delivered bids:
 - a. The bid opening location is:
McGee Building Board Room
3505 Arendell St
Morehead City, NC
 - b. Plan to arrive min. 30 minutes in advance of the bid opening to allow time to locate the bid opening location and to find parking.
- IV Schedule:
 1. No bid may be withdrawn after the scheduled closing time for the receipt of bids for a period of 60 days.
 2. Supplementary General Conditions:
 - a. Date of substantial completion: **150 consecutive calendar days** from anticipated Notice to Proceed.
 3. The intent is for the Carteret Community College Board of Trustees to vote to approve at meeting on January 8, 2025.
- V Liquidated Damages:
 1. Supplementary General Conditions:
 - a. **\$250.00 each calendar day** in excess of the stated completion time.
- VI Examination of Bid Documents:
 1. All Bidders are expected to fully examine and familiarize themselves with the Drawings, Specifications and Existing Conditions. All Bidders should read the scopes of the bid package. Any questions or clarifications should be directed to the Architect. No allowances will be made after the bids are received for any oversight due to failure to examine the documents.
- VII Substitutions:
 1. Substitutions or approvals of “Equals” will only be accepted if approved by the Architect in writing at least 10 days prior to the receipt of bids.
 - a. Request for substitutions will be received until end of day Monday, December 30th, 2024.
- VIII Technical Questions:
 1. Technical questions shall be submitted to Architect as soon as possible by email or phone.
lcrow@smithsinnett.com
(919) 475-1710
 2. Last day for Questions will be December 31st, at 5pm.
The Last Addendum is scheduled to be issued January 3rd, unless otherwise noted.
- IX Construction Documents:
 1. Construction Documents may be ordered from Leanne Crow:
Smith Sinnett Architecture
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
919-781-8582
 2. Electronic Copies of the Plans and Specifications are available upon request and with a completed Plan Request Form found at www.smithsinnett.com under the Documents Tab.

Pre-Bid Conference Agenda**December 17 at 10:00 a.m.**

- X Addenda:
1. Addenda will be emailed to everyone on the Architect's plan holders list that has requested access to the Construction Documents
 2. Addenda can also be downloaded from www.smithsinnett.com under the Documents Tab.
 3. An addendum will be issued to address any questions raised today.
 4. All Addenda will be issued by email. Verify that email security will allow emails from lcrow@smithsinnett.com.
- XI Bidders List:
1. Bidders List will be available to download from www.smithsinnett.com under the Documents Tab.
- XII Project Specifics:
1. Base Bid
 2. Alternates:
 - a. Alternate 1 – Break Room
 - b. Alternate 2 – Owner Preferred Manufacturer
 3. Allowances:
 - a. Allowance No. UP-1 – Undercut/Replacement in Trenches
 - i. Quantity: 15 cu. yds
 - b. Allowance No. UP-2 – Topical Moisture Vapor Mitigation System
 - i. Quantity: 2,750 sqft.
 - c. Allowance No. UP-3 – Abrasive Blast Floor Preparation
 - i. Quantity: 2,750 sqft
 - d. Allowance No. UP-4 – Floor Leveling Compound
 - i. Quantity: 1,500 sqft
 - e. Allowance No. 5 – Contingency
 - i. Lump Sum: \$50,000
 4. Unit Prices
 - a. Unit Price No. UP-1 – Undercut/Replacement in Trenches
 - b. Unit Price No. UP-2 – Topical Moisture Vapor Mitigation System
 - c. Unit Price No. UP-3 – Abrasive Blast Floor Preparation
 - d. Unit Price No. UP-4 – Floor Leveling Compound
- XIII Open Meeting for Preferred Alternates:
1. Owner Preferred Manufacturer:
 - a. Door Hardware Locks and Latches: Manufacturer – Sargent

XIV Description of Project Scope:

This project consists of the renovation of an approximately 2,750 sqft area within the McGee Building on Carteret Community College campus in Morehead City, NC. The building program consists of restrooms, janitor and storage space, offices and a flexible work room. Alternate 1 consists of a breakroom renovation. The building is non-separated single use. The renovation will include alteration of the existing HVAC system, LED lighting throughout, and additional plumbing fixtures in a mens, womens, and unisex restroom. The building is structurally comprised of structural steel columns and framing with grade beams. Coordination of slab work and plumbing work with the grade beams is critical. The exterior of the building consists of existing face brick, storefront glazing system, and pre-cast concrete panels located at the lower portion of the second floor and at the parapets. There are interior storefront systems. The frames shall be bronze aluminum colored, with clear or clear tempered

Pre-Bid Conference Agenda**December 17 at 10:00 a.m.**

glazing. The interior partition walls will typically be metal stud with 5/8" gypsum. Walls along the corridors may consist of 8x8x8 CMU to match the existing masonry. The building has a combination of ceiling finishes that consist of acoustical lay-in ceilings with gypsum accent in office or restroom areas, and exposed painted structure/deck in existing mechanical spaces. The floor finishes shall consist of vinyl composition tile in corridors, ceramic tile flooring in the restrooms, carpet and rubber base in the flex room and offices. The project includes all other work as shown, indicated or reasonably implied on the drawings and/or specifications for a complete, first class job.

GENERAL DEMOLITION NOTES:

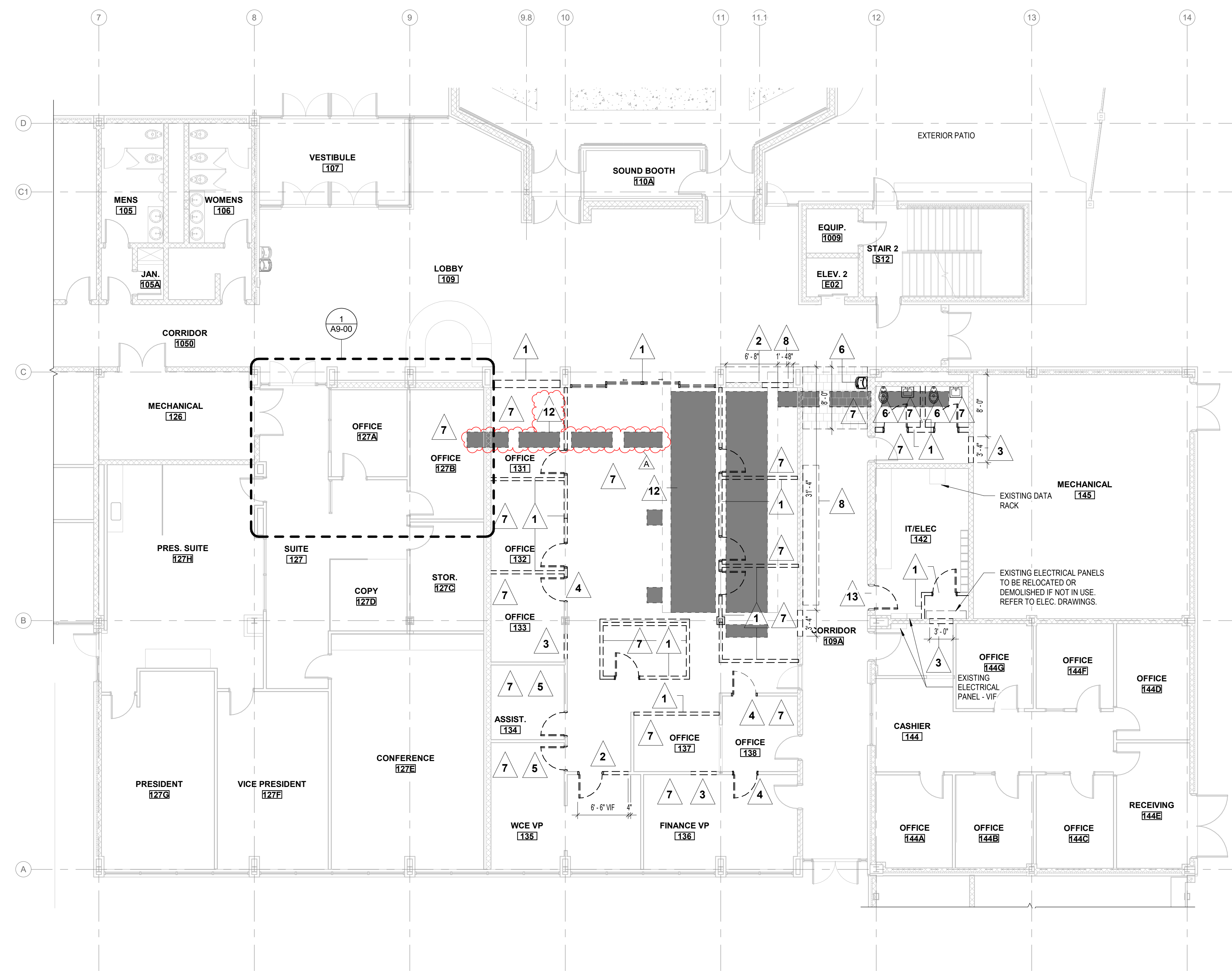
- THE CONTRACTOR SHALL BUILD TEMPORARY SEPARATION WALLS BETWEEN THE WORK ZONE(S) AND THE LOBBY TO ALLOW COLLEGE TO USE THE LOBBY AND JOSLYN HALL ON NIGHTS AND WEEKENDS.
- ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WHERE DEMOLITION IS TO OCCUR. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY INCONSISTANCIES IN WRITING PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY AND/OR DAILY REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS ACCUMULATED DURING DEMOLITION AND CONSTRUCTION.
- REMOVAL OF HAZARDOUS MATERIALS AND DEBRIS SHALL BE AS FOLLOWS:
 - BULBS - FLOURESCENT, MERCURY VAPOR, SODIUM, ETC. BULBS WILL BE HANDLED AS UNIVERSAL WASTE. UPON REMOVAL FROM LIGHTING DEVICES, THEY IMMEDIATELY MUST BE PUT INTO APPROPRIATE CONTAINERS AND LABELED AS USED LAMPS. A UNIVERSAL WASTE LABEL WILL BE ATTACHED AND ACCUMULATION DATE FILLED IN ON THE LABEL. BOX MUST BE CLOSED AND TAPED SHUT AT ALL TIMES UNLESS BULBS ARE BEING ADDED. BULBS UNLESS BROKEN SHALL BE RECYCLED. ANY BROKEN OR DAMAGED BULBS WILL BE CONTAINERIZED IN PLASTIC OR METAL CONTAINERS FOR DISPOSAL AS HAZARDOUS WASTE.
 - BALLAST - ALL BALLAST WILL BE CONTAINERIZED AND RECYCLED.
- ANY FLOOR, CEILING, WALL OR OTHER MATERIALS INCLUDING FINISHES IN AREAS TO REMAIN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT. ANY MATERIALS DAMAGED DURING CONSTRUCTION OR DEMOLITION, SHALL BE RETURNED TO THEIR ORIGINAL STATE, OR IMPROVED AS INDICATED BY THE OWNER OR ARCHITECT, OR REPLACED WITH A NEW MATERIAL TO MATCH ADJACENT MATERIALS, TYPICAL.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND MATERIALS EXPOSED TO VIEW WHERE OTHER ITEMS OR MATERIALS HAVE BEEN REMOVED.
- REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL AND COMPLETE SCOPE OF DEMOLITION THAT MAY OR MAY NOT BE NOTED ON THE ARCHITECTURAL DEMOLITION PLAN AND NOTES.
- CONTRACTOR SHALL REMOVE ALL WALL MOUNTED FIXTURES OR ITEMS UNLESS OTHERWISE NOTED. ALL WALLS SHALL BE REPAIRED, AND VOIDS FILLED AFTER FIXTURE REMOVAL. ALL FINISHES SHALL MATCH ADJACENT SURFACES. REMOVE ALL FOREIGN MATTER, SHELVING, LOOSE DEBRIS INCLUDING TAPE, ADHESIVE, NAILS, SCREWS, ETC. FROM WALLS. SCRAPE, WIRE BRUSH, AND SAND SMOOTH. WASH ALL PAINTED SURFACES TO REMOVE ANY FILM OR RESIDUE. PREPARE SURFACES TO PROVIDE A MAXIMUM DEGREE OF NEW PAINT ADHESION. PATCH AND REPAIR ALL VOIDS IN PREPARATION FOR NEW FINISHES.
- ALL FIXTURES, WALLS AND PORTIONS OF WALLS SHOWN AS DASHED LINES OR LABELED SHALL BE DEMOLISHED UNLESS ELEMENTS REMOVED OR REPLACED. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AND IS RESPONSIBLE FOR ANY FAILURE DUE TO LACK OF PROPER BRACING.
- CONTRACTOR SHALL PATCH AND FILL IN ANY VOIDS LEFT FROM THE DEMOLITION OF ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION.
- DURING THE BIDDING PROCESS, CONTRACTORS SHALL TAKE NOTE OF EXISTING PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS IN AREAS TO BE RENOVATED. ITEMS INCLUDE BUT ARE NOT LIMITED TO WIRES, CONDUITS, PIPES, THERMOSTATS, FIRE ALARM DEVICES, PANEL CANS, ETC. THESE HAVE BEEN IDENTIFIED IN THE DEMOLITION DRAWINGS FOR ARCHITECTURE, PLUMBING, MECHANICAL, AND/OR ELECTRICAL. FOR ITEMS NOT SHOWN, CONTRACTOR SHALL WORK WITH THE ARCHITECT AND OWNER TO DETERMINE IF THE ITEM IS STILL IN USE. ITEMS WHICH ARE NOTES TO BE REMOVED AND STORED FOR LATER REINSTALLATION SHALL BE TAGGED AND LISTED ON AN ITEMIZED LIST GIVEN TO THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE THE DEMOLITION OF THE EXISTING BUILDING AREAS WITH THE ARCHITECT AND OWNER. THE CONTRACTOR SHALL COORDINATE AFTER HOURS WORK AND OBTAIN WRITTEN OWNER PERMISSION FOR NIGHT AND WEEKEND WORK.
- CONTRACTOR SHALL MAINTAIN EXISTING ITEMS THROUGHOUT CONSTRUCTION AND MAINTAIN A SAFE PATH OF EGRESS AND TRAVEL FOR OCCUPANTS THROUGHOUT CONSTRUCTION.
- ALL EXISTING FIRE EXTINGUISHERS AND BRACKETS OR CABINETS SHALL REMAIN AND BE INSTALLED IN THEIR CURRENT LOCATION UNLESS SHOWN ON THE PLANS TO RELOCATE.

DEMOLITION KEYNOTES:

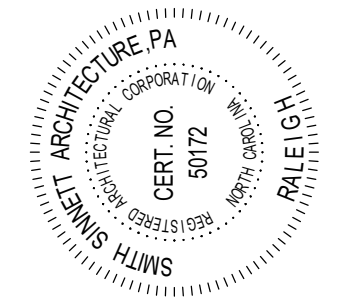
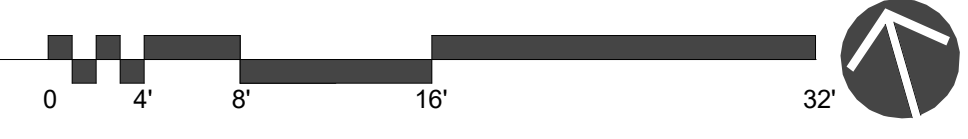
SYMBOL	DESCRIPTION
1	REMOVE EXISTING WALL, FRAMING, AND ASSOCIATED PARTS IN ITS ENTIRETY. ASSOCIATE PARTS MAY CONTAIN BUT ARE NOT LIMITED TO DOOR, DOOR FRAME, HARDWARE, TRACKS, AND SUPPORTS. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISHES. PATCH EXISTING ADJACENT SURFACES TO MATCH EXISTING FINISH AS NECESSARY.
2	REMOVE EXISTING WALL TO THE EXTENTS SHOWN. DEMOLITION SHALL BE SUFFICIENT ENOUGH TO INSTALL A LINTEL OVER THE OPENINGS AS REQUIRED. REFER TO STRUCTURAL, PATCH AND REPAIR SURROUNDING WALL AS NECESSARY. PATCH AND REPAIR SURROUNDING MASONRY OR MASONRY WALLS. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISH SPECIFIED OR IF NO FINISH IS SPECIFIED MATCH EXISTING.
3	REMOVE EXISTING WALL TO THE EXTENTS OF NEW OPENING. COORDINATE WITH NEW DOOR SCHEDULE. DEMOLITION SHALL BE SUFFICIENT ENOUGH TO INSTALL A LINTEL OVER THE OPENINGS AS REQUIRED. PATCH AND REPAIR SURROUNDING WALL AS NECESSARY. REFER TO STRUCTURAL FOR LINTEL SCHEDULE AND DETAILS.
4	REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) AND HARDWARE IN ITS ENTIRETY. PREPARE SURROUNDING AREA TO RECEIVE NEW INFILL AND FINISH AS SPECIFIED. PATCH EXISTING ADJACENT SURFACES AND MATCH EXISTING FINISH IF NONE IS SPECIFIED.
5	REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) AND ASSOCIATED PARTS IN ITS ENTIRETY. PREPARE SURROUNDING AREA TO RECEIVE NEW OPENING. COORDINATE WITH DOOR SCHEDULE FOR NEW OPENING. PATCH EXISTING ADJACENT SURFACES TO MATCH EXISTING FINISH AS NECESSARY.
6	REMOVE EXISTING PLUMBING FIXTURES, TOILETS, SINKS, URINALS, AND ASSOCIATED PARTS IN THEIR ENTIRETY. REFER TO PLUMBING FOR COMPLETE SCOPE OF PLUMBING DEMOLITION. CAP ALL UTILITIES BELOW SLAB. PATCH AND REPAIR SLAB AND WALLS AS NECESSARY. FILL ANY PENETRATIONS FROM PLUMBING PIPES IN THE SLAB OR WALL.
7	REMOVE EXISTING WALL BASE, CERAMIC TILE, CARPET, VCT, AND/OR ANY OTHER FLOOR FINISH IN ITS ENTIRETY. PREPARE FLOORING TO RECEIVE NEW FINISHES PER SPECIFICATION AND THESE CONSTRUCTION DRAWINGS.
8	REMOVE EXISTING CASEWORK, CABINETS, SHELF, OR WALL HUNG COUNTER, AND ALL ASSOCIATED PARTS. PATCH AND REPAIR HOLES OR ADJECENT SURFACES TO MATCH EXISTING.
9	REMOVE EXISTING LAY-IN CEILING TILE, GRID, HANGERS, AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
10	REMOVE EXISTING GYPSUM CEILING, FRAMING, HANGERS, AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
11	REMOVE EXISTING LIGHT FIXTURES AND MECHANICAL DIFFUSERS. REPLACE WITH NEW LIGHT FIXTURES AND MECHANICAL DIFFUSERS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION. REFER TO GENERAL DEMO NOTES FOR REQUIREMENTS ON BULB AND BALLAST DISPOSAL.
12	REMOVE CONCRETE FLOOR SLAB. PREP AREA TO RECEIVE NEW CONCRETE SLAB. COORDINATE FINAL LOCATION OF SLAB CUT WITH STRUCTURAL, PLUMBING, AND ELECTRICAL AND OTHER TRADES AS REQUIRED. CONCRETE CUT IS DIAGRAMMATIC. CONTRACTOR SHALL CUT AS REQUIRED FOR NEW WORK SHOWN. COORDINATE WITH ALL TRADES FOR COMPLETE SIZE, LOCATION, AND EXTENTS OF SLAB CUTS.
13	REMOVE EXISTING DOOR, HARDWARE, TRANSOM (IF APPLICABLE) AND ASSOCIATED PARTS IN ITS ENTIRETY. EXISTING FRAME TO REMAIN. PATCH EXISTING SURFACES AND MATCH EXISTING FINISH AS NECESSARY.

DEMOLITION LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Solid Triangle)	EXISTING CONCRETE SLAB TO BE REMOVED. SEE KEYED NOTE 12.	(Dashed Triangle)	EXISTING TO REMAIN
(Triangle with 'A')	DEMOLITION KEYED NOTE	(Dashed Line)	EXISTING TO BE REMOVED DURING DEMOLITION



1 FIRST FLOOR DEMOLITION PLAN
 A0-10 1/8" = 1'-0"

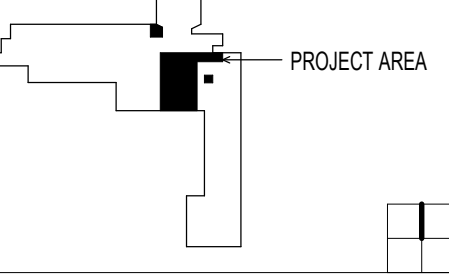


CONSTRUCTION DOCUMENTS

This drawing and the design shown is the property of Smith Sinnett Architecture, P.A. The reproduction or use of this drawing without the written consent of the architect is prohibited. This drawing is the property of the architect and is not to be used for any other project without the written consent of the architect. All copies of this drawing must be returned to the architect at the completion of the contract.
 Smith Sinnett Architecture, P.A. 2024
 THIS DRAWING IS FORMATTED TO BE PRINTED ON A 24" X 36" SHEET

CARTERET COMMUNITY COLLEGE
McGEE BUILDING "ONE DOOR" RENOVATION - PHASE 1
 3505 ARENDELL ST, MOREHEAD CITY, NC 28557

ID	DATE	DESCRIPTION
A	12/18/2024	ADDENDUM 1



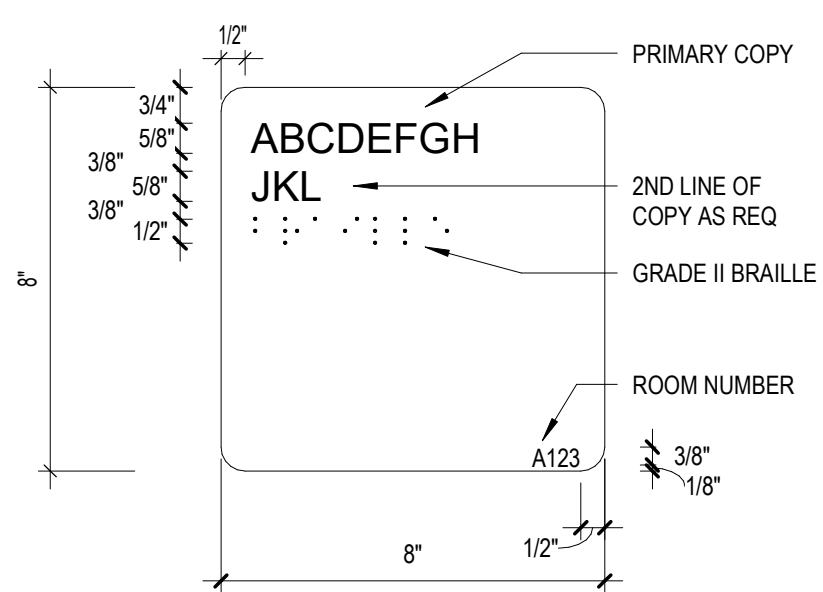
DRAWN BY: LC, BS, MA
 CHECKED BY: LC
DEMOLITION PLAN

2024009 12/18/2024

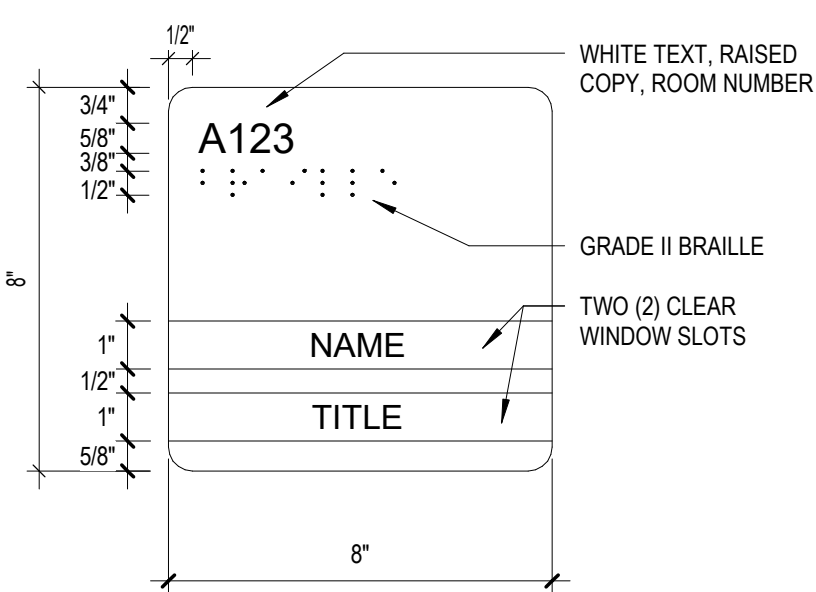
A0-10

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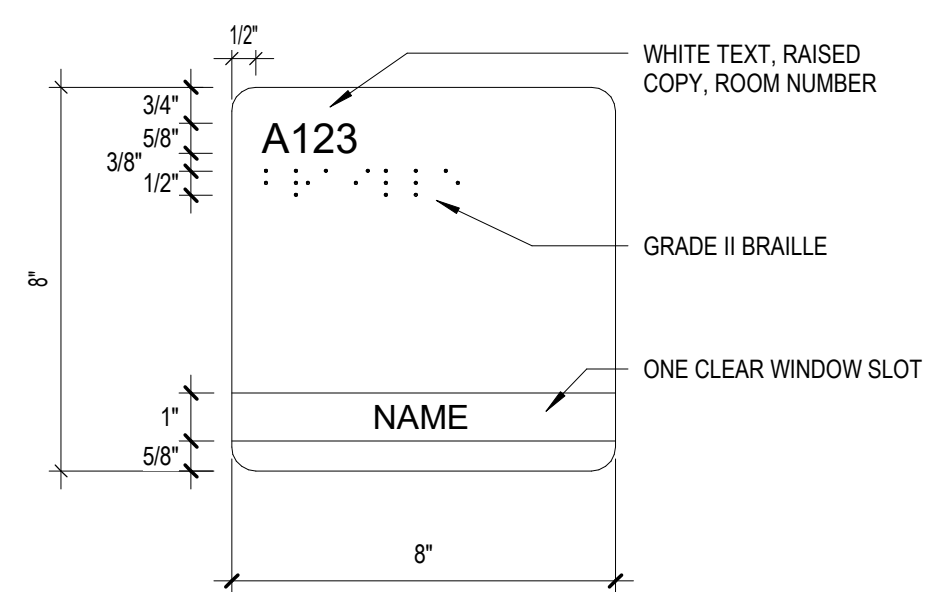
SIGN TYPE A



SIGN TYPE B

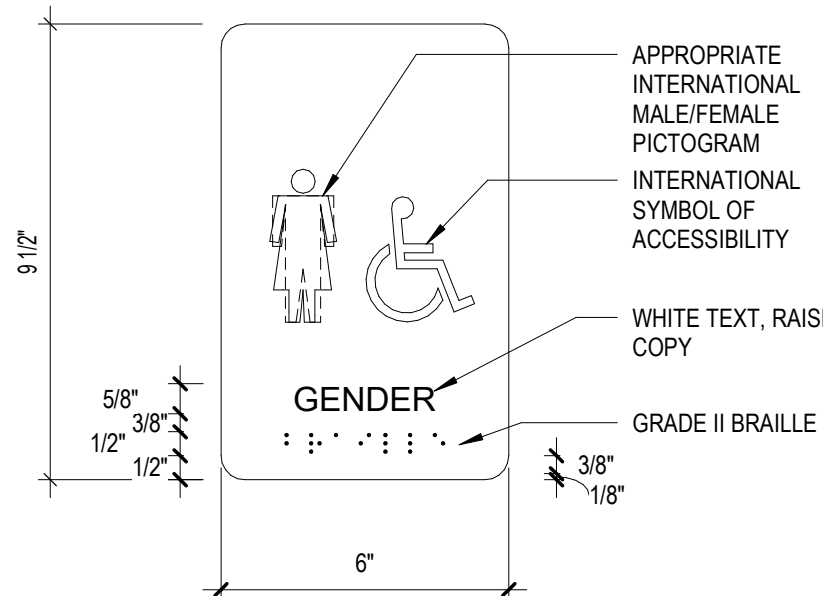


SIGN TYPE C

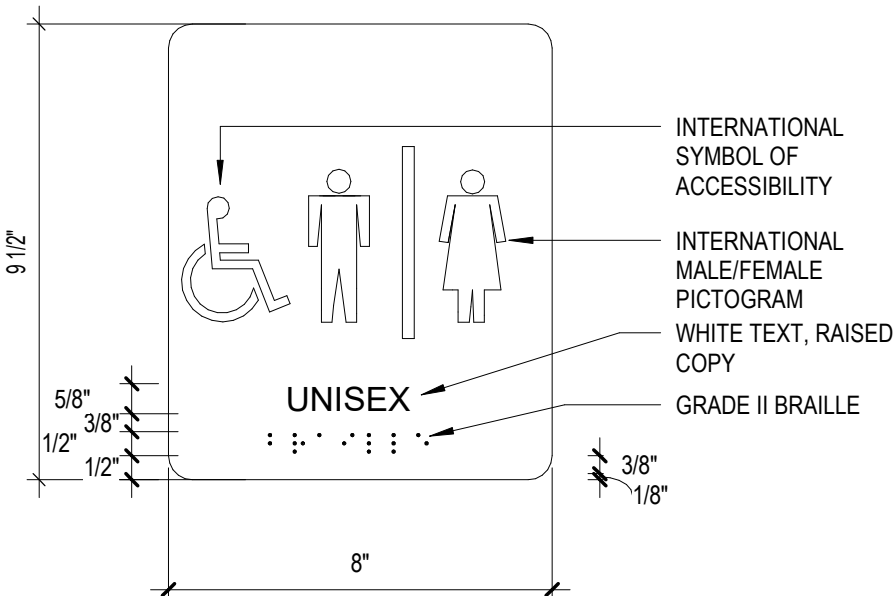


NOTE: MATCH CARTERET CC SIGN PROTOTYPE. TO BE PROVIDED BY OWNER.

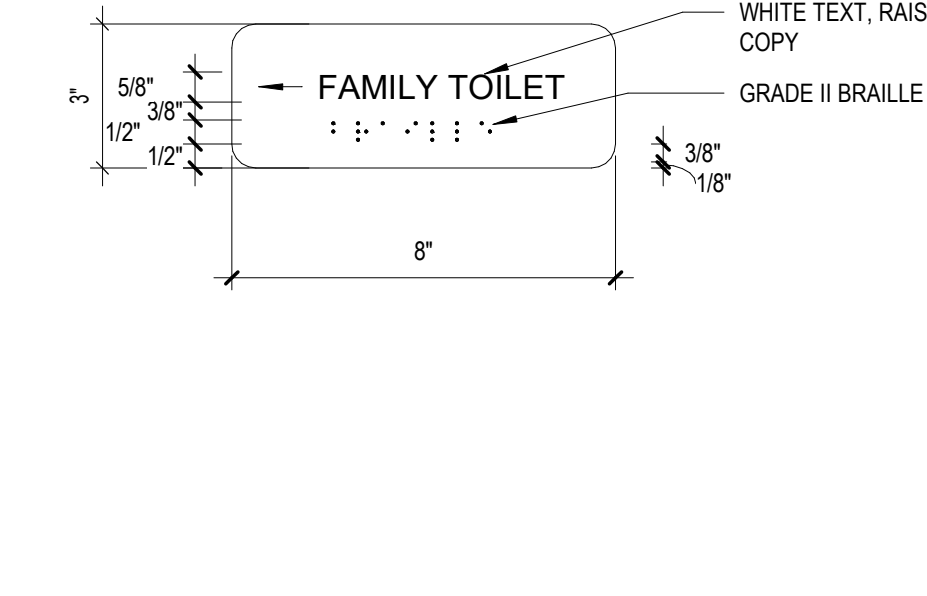
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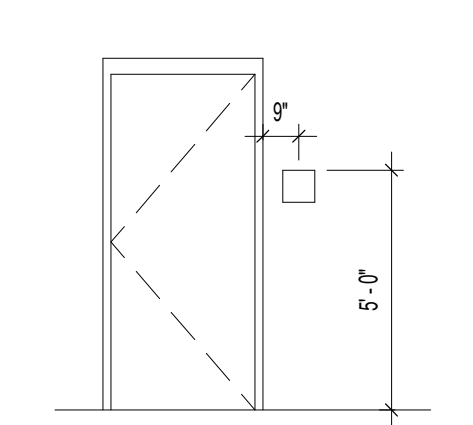
SIGN TYPE E



SIGN TYPE F



SIGNAGE LOCATION & NOTES

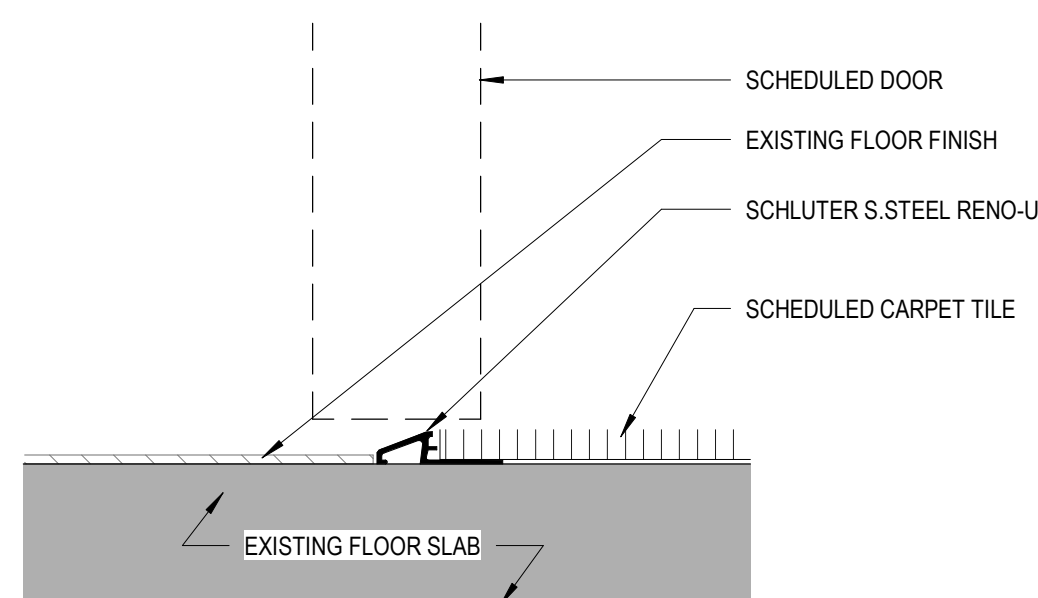


FINISH LEGEND

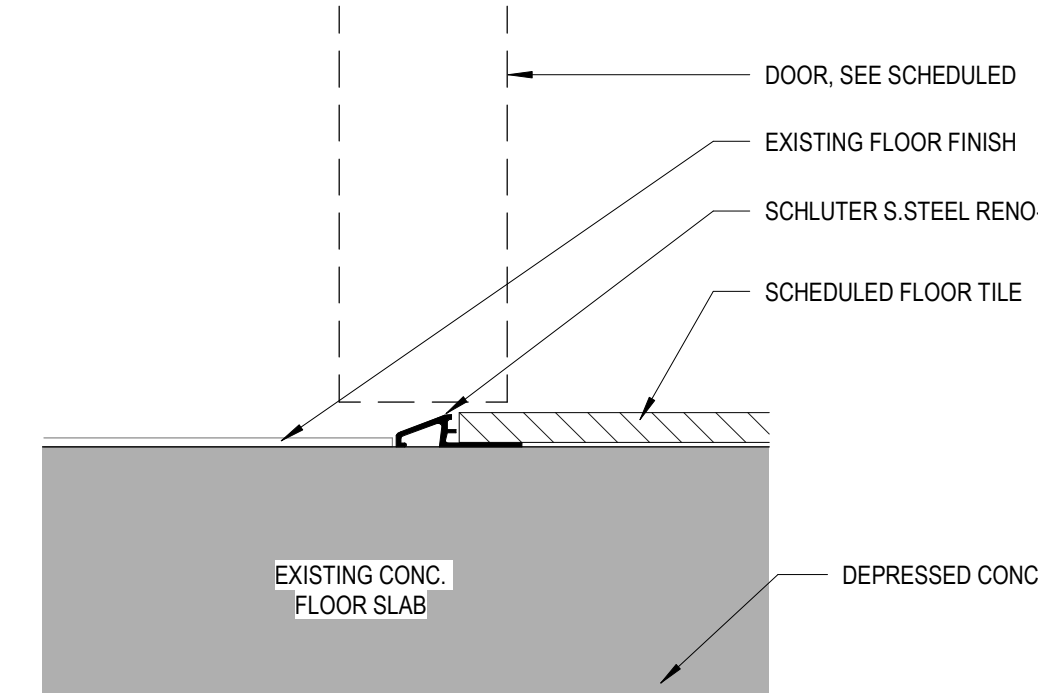
WALL FINISH	FLOOR FINISH	SURFACE FINISH
PT1 INTERIOR FIELD PAINT - SW7008 ALABASTER	FT1 FLOOR TILE 1 - B.O.D. DAL TILE, PORTFOLIO 24"x24", ASH GREY	PL1 PLASTIC LAMINATE 1 - B.O.D. WILSONART KENSINGTON MAPLE
PT1A INTERIOR FIELD EPOXY PAINT	CPT1 CARPET TILE 1 - B.O.D. TARKETT COLORMAP, 4200S LANDING ZONE	SS1 SOLID SURFACE 1 - B.O.D. WILSONART BEACHFRONT
PT2 INTERIOR ACCENT 2 PAINT - PANTONE COOL GRAY 1C	VCT1 VINYL COMPOSITION TILE 1 - B.O.D. ARMSTRONG CLASSIC	SS2 SOLID SURFACE 2 - DESIGNER WHITE
PT2A INTERIOR ACCENT 2 EPOXY PAINT	VCT2 VINYL COMPOSITION TILE 2 - B.O.D. ARMSTRONG STERLING 51504 IMPERIAL TEXTURE	RS ROLLER SHADE
PT3 INTERIOR ACCENT 3 PAINT - PANTONE 7461 C		
PT4 INTERIOR ACCENT 3 PAINT - PANTONE 7547 C		
PT5 INTERIOR CEILING PAINT		
WT1 WALL TILE 1 - B.O.D. DAL TILE, PORTFOLIO 6"x24", ASH GREY		
RB1 RUBBER BASE 1 - B.O.D. JOHNSONITE CHARCOAL		
TB TILE COVE BASE		
MCB METAL COVE BASE		

NOTE: ALL TILE WALL COVE TO MATCH FLOOR FINISH

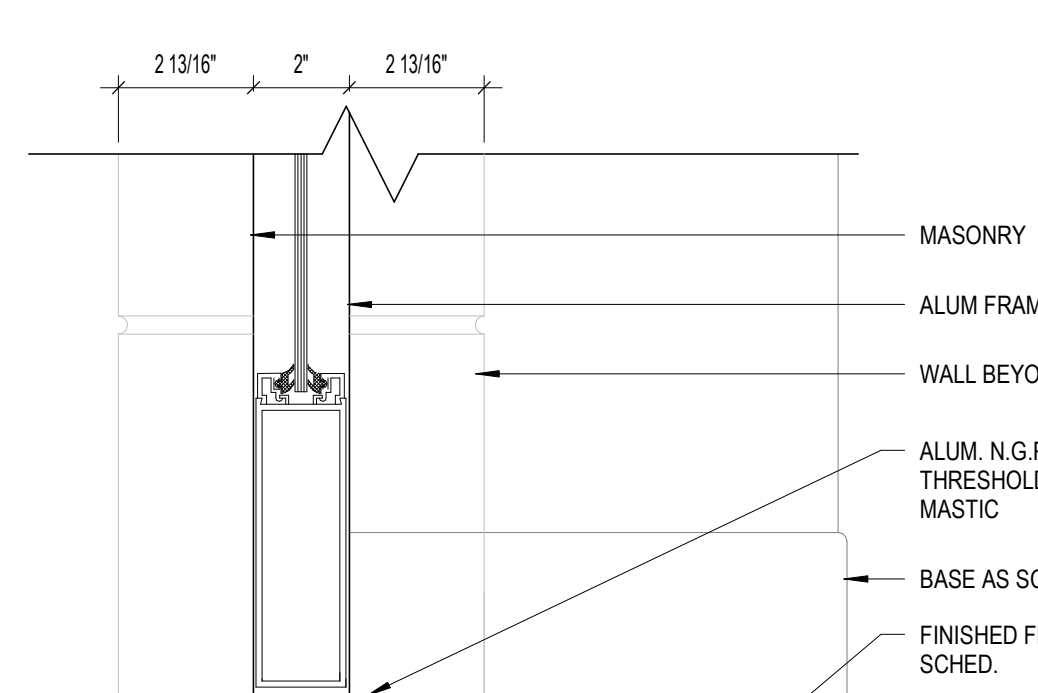
6 SIGNAGE LEGEND / ELEVATIONS
A7-01 3" = 1'-0"



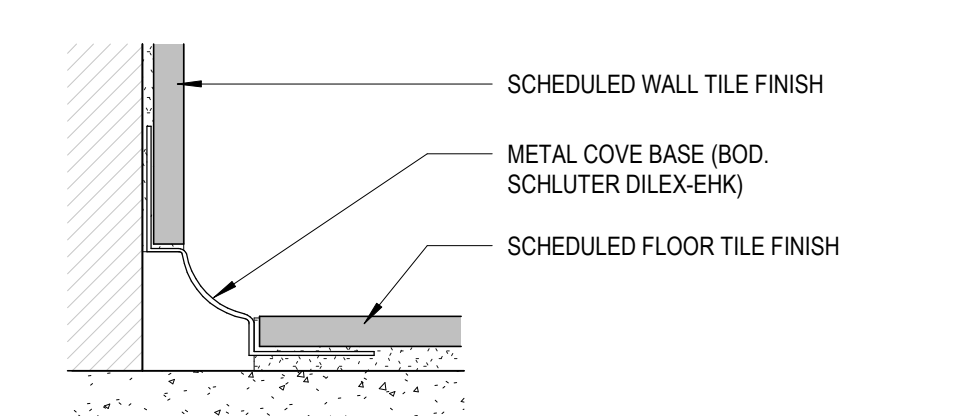
5 T3 - VCT TO CPT
A7-01 6" = 1'-0"



4 T2 - VCT TO FT
A7-01 6" = 1'-0"



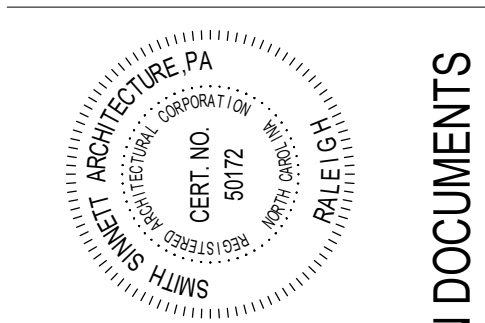
2 MCB - COVE BASE AT WALL TILE
A7-01 6" = 1'-0"



1 FIRST FLOOR FINISH PLAN
A7-01 1/8" = 1'-0"



T 919 781 8532
F 919 781 3979
4600 Lake Boone Trail
Suite 205
Raleigh, NC 27607
info@smithsinnett.com

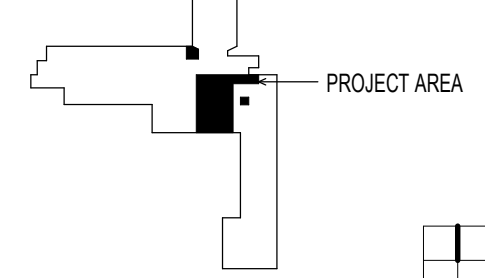


CONSTRUCTION DOCUMENTS

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Smith Sinnett Architecture, P.A. 2024
THIS DRAWING IS FORMATTED TO BE PRINTED ON A 24" X 36" SHEET

CARTERET COMMUNITY COLLEGE
McGEE BUILDING "ONE DOOR" RENOVATION - PHASE 1
3505 ARENDELL ST., MOREHEAD CITY, NC 28557

ID	DATE	DESCRIPTION
A	12/18/2024	ADDENDUM 1



DRAWN BY: LC, BS, MA
CHECKED BY: LC

FINISH PLAN

2024009 12/18/2024

A7-01

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GENERAL DEMOLITION NOTES:

- ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WHERE DEMOLITION IS TO OCCUR. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY INCONSISTENCIES IN WRITING PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY AND/OR DAILY REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS ACCUMULATED DURING DEMOLITION AND CONSTRUCTION.
- REMOVAL OF HAZARDOUS MATERIALS AND DEBRIS SHALL BE AS FOLLOWS:
 - BULBS - FLUORESCENT, MERCURY VAPOR, SODIUM, ETC. BULBS WILL BE HANDLED AS UNIVERSAL WASTE. UPON REMOVAL FROM LIGHTING DEVICES, THEY IMMEDIATELY MUST BE PUT INTO APPROPRIATE CONTAINERS AND LABELED AS USED LAMPS. A UNIVERSAL WASTE LABEL WILL BE ATTACHED AND ACCUMULATION DATE FILLED IN ON THE LABEL. BOX MUST BE CLOSED AND TAPED SHUT AT ALL TIMES UNLESS BULBS ARE BEING ADDED. BULBS UNLESS BROKEN SHALL BE RECYCLED. ANY BROKEN OR DAMAGED BULBS WILL BE CONTAINERIZED IN PLASTIC OR METAL CONTAINERS FOR DISPOSAL AS HAZARDOUS WASTE.
 - BALLAST - ALL BALLAST WILL BE CONTAINERIZED AND RECYCLED.
- ANY FLOOR, CEILING, WALL OR OTHER MATERIALS INCLUDING FINISHES IN AREAS TO REMAIN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT. ANY MATERIALS DAMAGED DURING CONSTRUCTION OR DEMOLITION, SHALL BE RETURNED TO THEIR ORIGINAL STATE, OR IMPROVED AS INDICATED BY THE OWNER OR ARCHITECT, OR REPLACED WITH A NEW MATERIAL TO MATCH ADJACENT MATERIALS, TYPICAL.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND MATERIALS EXPOSED TO VIEW WHERE OTHER ITEMS OR MATERIALS HAVE BEEN REMOVED.
- REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL AND COMPLETE SCOPE OF DEMOLITION THAT MAY OR MAY NOT BE NOTED ON THE ARCHITECTURAL DEMOLITION PLAN AND NOTES.
- CONTRACTOR SHALL REMOVE ALL WALL MOUNTED FIXTURES OR ITEMS UNLESS OTHERWISE NOTED. ALL WALLS SHALL BE REPAIRED, AND VOIDS FILLED AFTER FIXTURE REMOVAL. ALL FINISHES SHALL MATCH ADJACENT SURFACES. REMOVE ALL FOREIGN MATTER, SHELVING, LOOSE DEBRIS INCLUDING TAPE, ADHESIVE, NAILS, SCREWS, ETC. FROM WALLS. SCRAPE, WIRE BRUSH, AND SAND SMOOTH. WASH ALL PAINTED SURFACES TO REMOVE ANY "FILM OR RESIDUE". PREPARE SURFACES TO PROVIDE A MAXIMUM DEGREE OF NEW PAINT ADHESION. PATCH AND REPAIR ALL VOIDS IN PREPARATION FOR NEW FINISHES.
- ALL FIXTURES, WALLS AND PORTIONS OF WALLS SHOWN AS DASHED LINES OR LABELED SHALL BE DEMOLISHED UNLESS ELEMENTS REMOVED OR REPLACED. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AND IS RESPONSIBLE FOR ANY FAILURE DUE TO LACK OF PROPER BRACING.
- CONTRACTOR SHALL PATCH AND FILL IN ANY VOIDS LEFT FROM THE DEMOLITION OF ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION.
- DURING THE BIDDING PROCESS, CONTRACTORS SHALL TAKE NOTE OF EXISTING PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS IN AREAS TO BE RENOVATED. ITEMS INCLUDING BUT ARE NOT LIMITED TO WIRES, CONDUITS, PIPES, THERMOSTATS, FIRE ALARM DEVICES, PANEL CANS, ETC. THESE HAVE BEEN IDENTIFIED IN THE DEMOLITION DRAWINGS FOR ARCHITECTURE, PLUMBING, MECHANICAL, AND/OR ELECTRICAL. FOR ITEMS NOT SHOWN, CONTRACTOR SHALL WORK WITH THE ARCHITECT AND OWNER TO DETERMINE IF THE ITEM IS STILL IN USE. ITEMS WHICH ARE NOTES TO BE REMOVED AND STORED FOR LATER REINSTALLATION SHALL BE TAGGED AND LISTED ON AN ITEMIZED LIST GIVEN TO THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL COORDINATE THE DEMOLITION OF THE EXISTING BUILDING AREAS WITH THE ARCHITECT AND OWNER. THE CONTRACTOR SHALL COORDINATE AFTER HOURS WORK AND OBTAIN WRITTEN OWNER PERMISSION FOR NIGHT AND WEEKEND WORK.
- CONTRACTOR SHALL MAINTAIN EXISTING ITEMS THROUGHOUT CONSTRUCTION AND MAINTAIN A SAFE PATH OF EGRESS AND TRAVEL FOR OCCUPANTS THROUGHOUT CONSTRUCTION.
- ALL EXISTING FIRE EXTINGUISHERS AND BRACKETS OR CABINETS SHALL REMAIN AND BE INSTALLED IN THEIR CURRENT LOCATION UNLESS SHOWN ON THE PLANS TO RELOCATE.

DEMOLITION KEYNOTES:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	REMOVE EXISTING WALL, FRAMING, AND ASSOCIATED PARTS IN ITS ENTIRETY. ASSOCIATE PARTS MAY CONTAIN BUT ARE NOT LIMITED TO DOOR, DOOR FRAME, HARDWARE, TRACKS, AND SUPPORTS. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISHES. PATCH EXISTING ADJACENT SURFACES TO MATCH EXISTING FINISH AS NECESSARY.	8	REMOVE EXISTING CASEWORK, CABINETS, SHELF, OR WALL HUNG COUNTER, AND ALL ASSOCIATED PARTS. PATCH AND REPAIR HOLES OR ADJACENT SURFACES TO MATCH EXISTING.
2	REMOVE EXISTING WALL TO THE EXTENTS SHOWN. DEMOLITION SHALL BE SUFFICIENT ENOUGH TO INSTALL A LINTEL OVER THE OPENINGS AS REQUIRED. REFER TO STRUCTURAL, PATCH AND REPAIR SURROUNDING WALL AS NECESSARY. PATCH AND REPAIR SURROUNDING MASONRY OR MASONRY WALLS. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISH SPECIFIED OR IF NO FINISH IS SPECIFIED MATCH EXISTING.	9	REMOVE EXISTING LAY-IN CEILING TILE, GRID, HANGERS, AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
3	REMOVE EXISTING WALL TO THE EXTENTS OF NEW OPENING. COORDINATE WITH NEW DOOR SCHEDULE. DEMOLITION SHALL BE SUFFICIENT ENOUGH TO INSTALL A LINTEL OVER THE OPENINGS AS REQUIRED. PATCH AND REPAIR SURROUNDING WALL AS NECESSARY. REFER TO STRUCTURAL FOR LINTEL SCHEDULE AND DETAILS.	10	REMOVE EXISTING GYPSUM CEILING, FRAMING, HANGERS, AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
4	REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) AND HARDWARE IN ITS ENTIRETY. PREPARE SURROUNDING AREA TO RECEIVE NEW INFILL AND FINISH AS SPECIFIED. PATCH EXISTING ADJACENT SURFACES AND MATCH EXISTING FINISH IF NONE IS SPECIFIED.	11	REMOVE EXISTING LIGHT FIXTURES AND MECHANICAL DIFFUSERS. REPLACE WITH NEW LIGHT FIXTURES AND MECHANICAL DIFFUSERS. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION. REFER TO GENERAL DEMO NOTES FOR REQUIREMENTS ON BULB AND BALLAST DISPOSAL.
5	REMOVE EXISTING DOOR, FRAME, TRANSOM (IF APPLICABLE) AND ASSOCIATED PARTS IN ITS ENTIRETY. PREPARE SURROUNDING AREA TO RECEIVE NEW OPENING. COORDINATE WITH DOOR SCHEDULE FOR NEW OPENING. PATCH EXISTING ADJACENT SURFACES TO MATCH EXISTING FINISH AS NECESSARY.	12	REMOVE CONCRETE FLOOR SLAB. PREP AREA TO RECEIVE NEW CONCRETE SLAB. COORDINATE FINAL LOCATION OF SLAB CUT WITH STRUCTURAL, PLUMBING, AND ELECTRICAL AND OTHER TRADES AS REQUIRED. CONCRETE CUT IS DIAGRAMMATIC. CONTRACTOR SHALL CUT AS REQUIRED FOR NEW WORK SHOWN. COORDINATE WITH ALL TRADES FOR COMPLETE SIZE, LOCATION, AND EXTENTS OF SLAB CUTS.
6	REMOVE EXISTING PLUMBING FIXTURES, TOILETS, SINKS, URINALS, AND ASSOCIATED PARTS IN THEIR ENTIRETY. REFER TO PLUMBING FOR COMPLETE SCOPE OF PLUMBING DEMOLITION. CAP ALL UTILITIES BELOW SLAB. PATCH AND REPAIR SLAB AND WALLS AS NECESSARY. FILL ANY PENETRATIONS FROM PLUMBING PIPES IN THE SLAB OR WALL.	13	REMOVE EXISTING DOOR, HARDWARE, TRANSOM (IF APPLICABLE) AND ASSOCIATED PARTS IN ITS ENTIRETY. EXISTING FRAME TO REMAIN. PATCH EXISTING SURFACES AND MATCH EXISTING FINISH AS NECESSARY.
7	REMOVE EXISTING WALL BASE, CERAMIC TILE, CARPET, VCT, AND/OR ANY OTHER FLOOR FINISH IN ITS ENTIRETY. PREPARE FLOORING TO RECEIVE NEW FINISHES PER SPECIFICATION AND THESE CONSTRUCTION DRAWINGS.	14	REMOVE EXISTING STOREFRONT FRAME AND GLAZING

FINISH LEGEND

WALL FINISH	DESCRIPTION	FLOOR FINISH	DESCRIPTION
PT1	INTERIOR FIELD PAINT - SW7008 ALABASTER	FT1	FLOOR TILE 1 - B.O.D. DAL TILE, PORTFOLIO 24"x24", ASH GREY
PT1A	INTERIOR FIELD EPOXY PAINT	CP1	CARPET TILE 1
PT2	INTERIOR ACCENT 2 PAINT - PANTONE COOL GRAY 1C	VCT1	VINYL COMPOSITION TILE 1
PT2A	INTERIOR ACCENT 2 EPOXY PAINT		
PT3	INTERIOR ACCENT 3 PAINT - PANTONE 7461 C		
PT4	INTERIOR ACCENT 3 PAINT - PANTONE 7547 C		
PT5	INTERIOR CEILING PAINT		
WT1	WALL TILE 1 - B.O.D. DAL TILE, PORTFOLIO 6"x24", ASH GREY		
WALL BASE	DESCRIPTION	SURFACE FINISH	DESCRIPTION
RB1	RUBBER BASE 1	PL1	PLASTIC LAMINATE 1
TB	TILE COVE BASE	PL2	PLASTIC LAMINATE 2
		SS1	SOLID SURFACE 1
		SS2	SOLID SURFACE 2

NOTE: ALL TILE WALL COVE TO MATCH FLOOR FINISH

REFLECTED CEILING LEGEND AND NOTES

SYMBOL	TYPE	DESCRIPTION	SYMBOL	DESCRIPTION
	CEILING TYPE			
	CEILING HEIGHT			
	A	ACT-1, 2x2 CEILING TILE, WHITE FINISH		4" LINEAR PENDANT LED FIXTURE (FLEX ROOM)
	B	ACT-2, 2x2 VINYL COVERED TILE AND GRID, WHITE FINISH, HOLD DOWN CLIPS		4" LINEAR RECESSED LED FIXTURE (RESTROOMS)
	D	GYPSUM WALLBOARD CEILING SYSTEM		2' X 4" LED FIXTURE
	E	MOISTURE RESISTANT GYP WALLBOARD		2' X 2' LED FIXTURE
				RETURN AIR GRILLE
				SUPPLY AIR DIFFUSER
				EXHAUST GRILLE
				RECESSED CAN STYLE FIXTURE

- REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF CEILING PENETRATIONS AND FIXTURES.
- REFER TO PROJECT SPECIFICATIONS FOR COMPLETE DESCRIPTION OF CEILING MATERIAL.

NOTES:

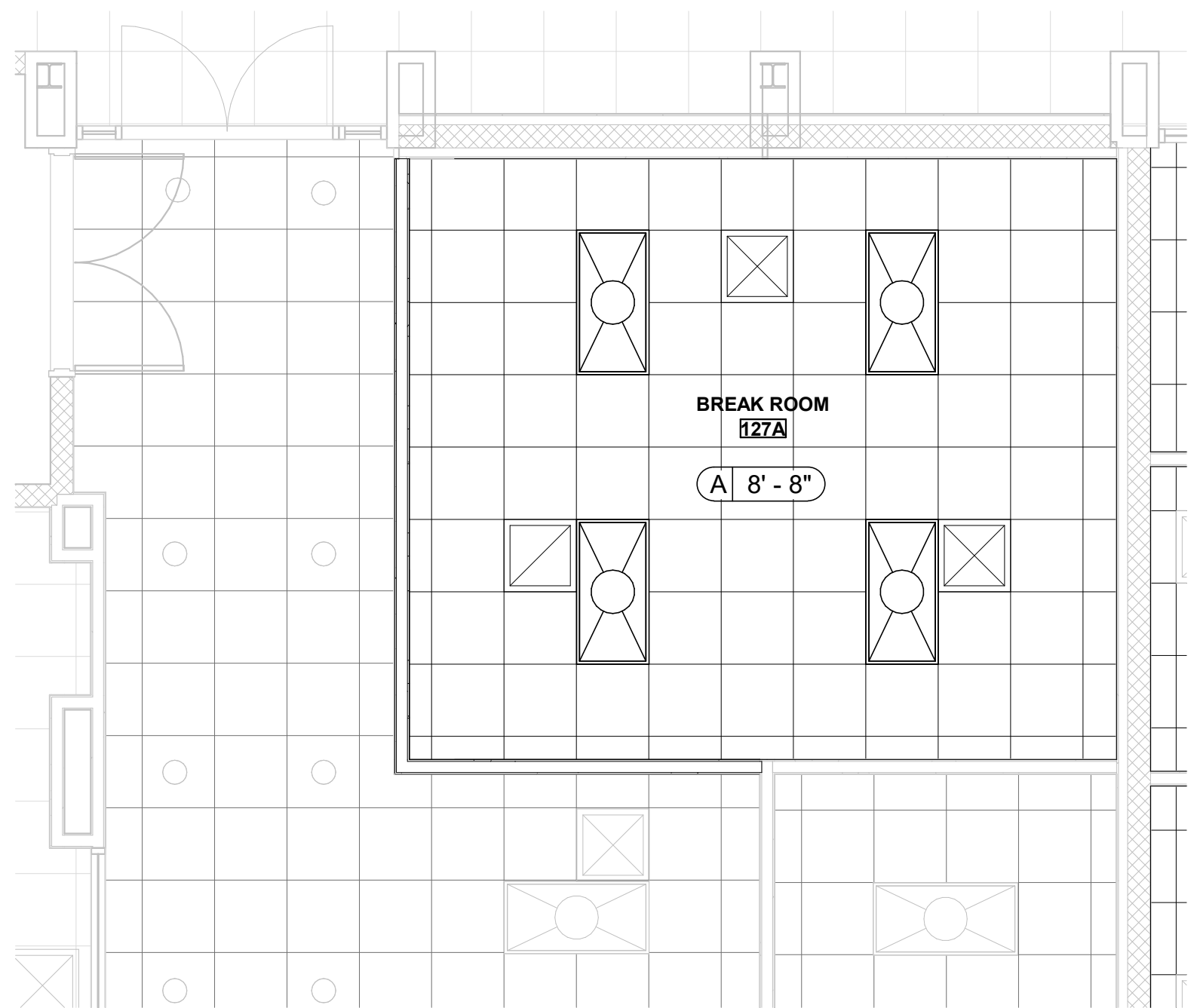
- CONTRACTOR TO VERIFY EXISTING WALL TYPES WHERE NEW WORK IS SHOWN.
- ALL INTERIOR WALL TYPES TO BE 'S4U' UNLESS OTHERWISE NOTED.
- WALL DIMENSIONS ARE TO FACE OF METAL STUD, FACE OF CONCRETE MASONRY UNIT (CMU), CENTERLINE OF COLUMN, OR FACE OF EXISTING.
- ALL CMU WALLS GOING TO BOTTOM OF DECK ARE TO PROVIDE A 1" GAP FOR DEFLECTION. FILL GAP WITH MINERAL WOOL INSULATION ALONG THE ENTIRE LENGTH OF WALL. AT FIRE RATED WALLS, ENSURE SPRAY APPLIED FIRE SEALANT BOTH SIDES.
- ALL METAL STUD WALLS TERMINATING AT BOTTOM OF DECK ARE TO PROVIDE A DEFLECTION TRACK SECURED TO THE UNDERSIDE OF DECKING. NEST TOP TRACK BUT DO NOT ATTACH TO DEFLECTION TRACK. FILL FLUTE IN METAL DECK WHERE REQUIRED.
- ALL WALLS EXTEND TO DECK AND ARE BRACKED TO DECK AT HEAD ON ALTERNATE STUDS OR 32" O.C. FOR CMU WALLS, UNLESS OTHERWISE NOTED.
- CONTROL JOINTS SHALL BE AS SHOWN ON PLANS AND ELEVATIONS OR SPACED AT A MINIMUM OF 20'-0" O.C. AND A MAXIMUM OF 32'-0" O.C. WITH ONE CONTROL JOINT LOCATED WITHIN 3'-4" OF ANY CORNER. FOR INTERIOR GYPSUM WALL CONTROL JOINTS SEE DETAIL.
- SEE FINISH SCHEDULE FOR WALL, FLOOR, BASE, AND CEILING TYPES AND FINISHES.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF REINFORCING, BOND BEAMS, BRACING, ETC.
- ALL COLUMN CHASES TO HAVE GYP BOARD ON ROOM SIDE OF WALL, TYPICAL UNLESS OTHERWISE NOTED.
- FURNITURE AND EQUIPMENT SHOWN DASHED ON PLANS IS NOT IN CONTRACT (NIC). CONTRACTOR TO PROVIDE WOOD BLOCKING FOR ALL WALL/CEILING MOUNTED ACCESSORIES.
- FIELD VERIFY FINAL ROOM DIMENSIONS PRIOR TO CASEWORK FABRICATION.
- WARP SLAB DOWN 1" IN A 2'-0"x2'-0" SQUARE AROUND ALL FLOOR DRAINS.
- ALL CERAMIC TILE TO HAVE CONTROL JOINTS THAT ALIGN WITH CONTROL JOINTS IN CONCRETE SLAB.
- DOOR JAMB FROM INTERSECTING WALLS: CMU - 8" UNLESS OTHERWISE NOTED
STUD - 4" UNLESS OTHERWISE NOTED

DOOR SCHEDULE - ALTERNATE

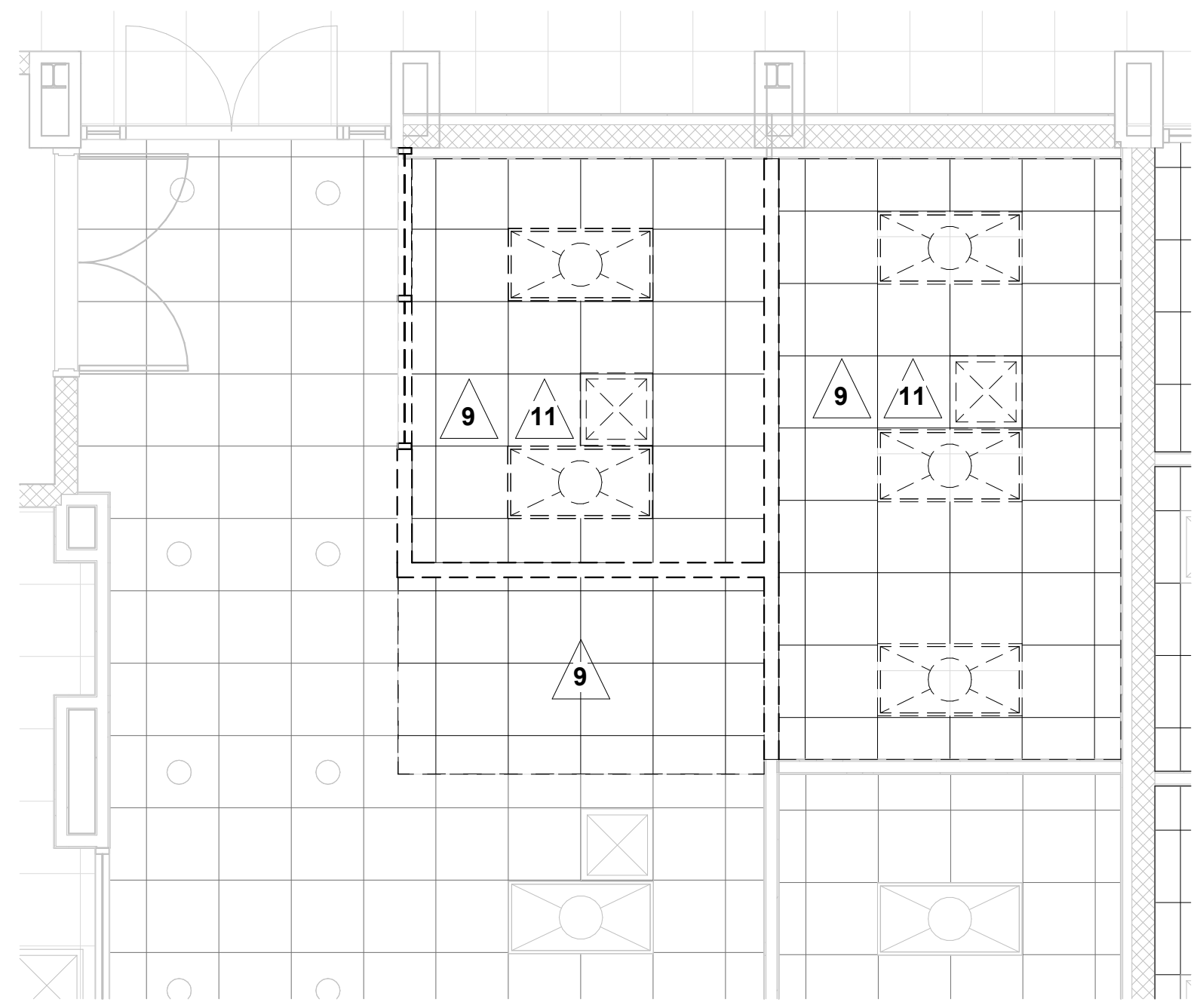
MARK	DOOR SIZE			MAT	TYPE	LVS	FRAME			DETAILS	HARDWARE SET	FIRE RATING	REMARKS
	WIDTH	HEIGHT	THK				MAT	TYPE	HEAD				
1	3'-0"	7'-0"	1 3/4"	SCWD	WW	1	HM3		H3	J3/J4			24" SIDELITE WITH INTEGRAL BLINDS

DEMOLITION LEGEND:

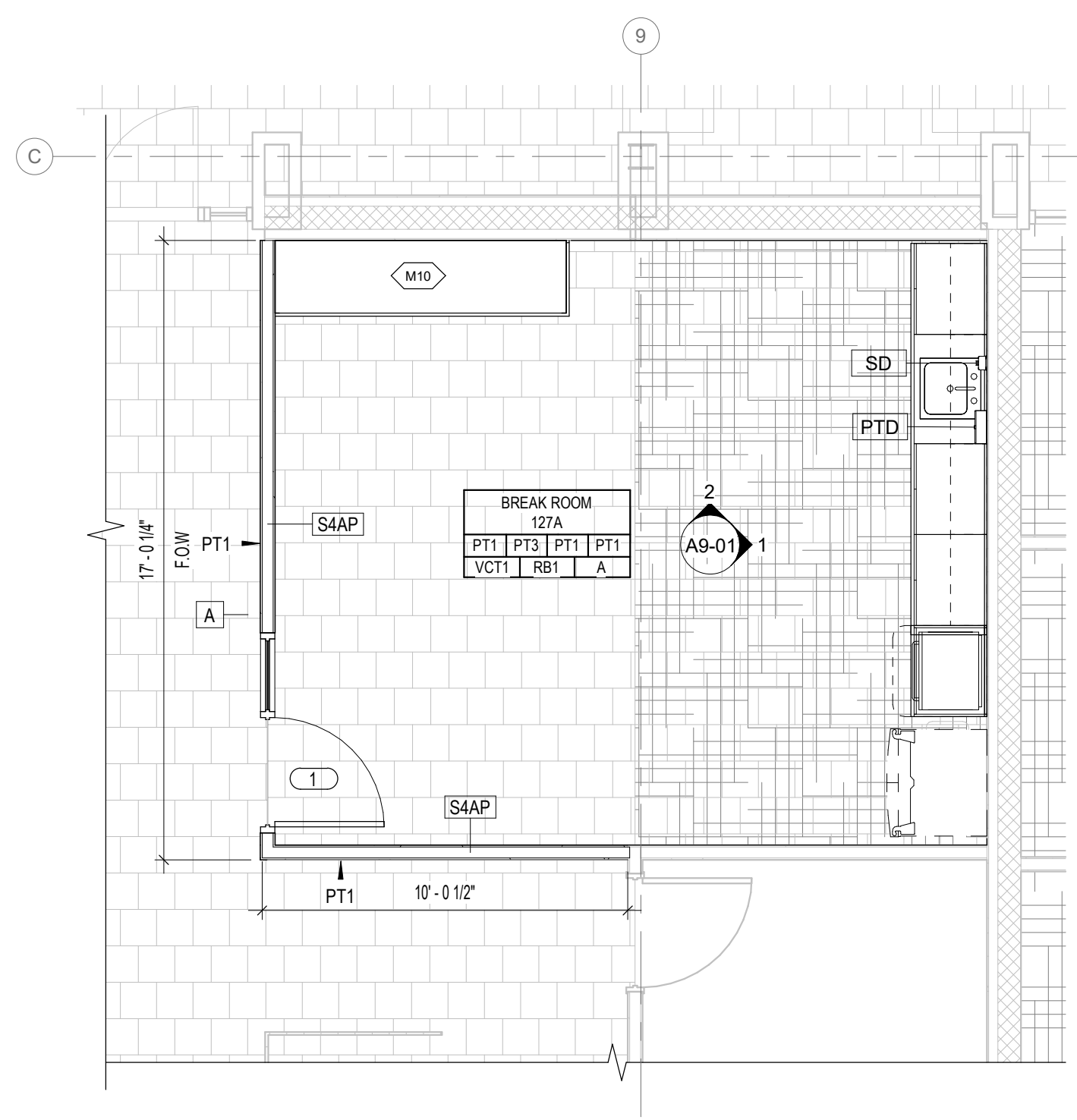
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING CONCRETE SLAB TO BE REMOVED. SEE KEYED NOTE 12.		EXISTING TO REMAIN
	DEMOLITION KEYED NOTE		EXISTING TO BE REMOVED DURING DEMOLITION



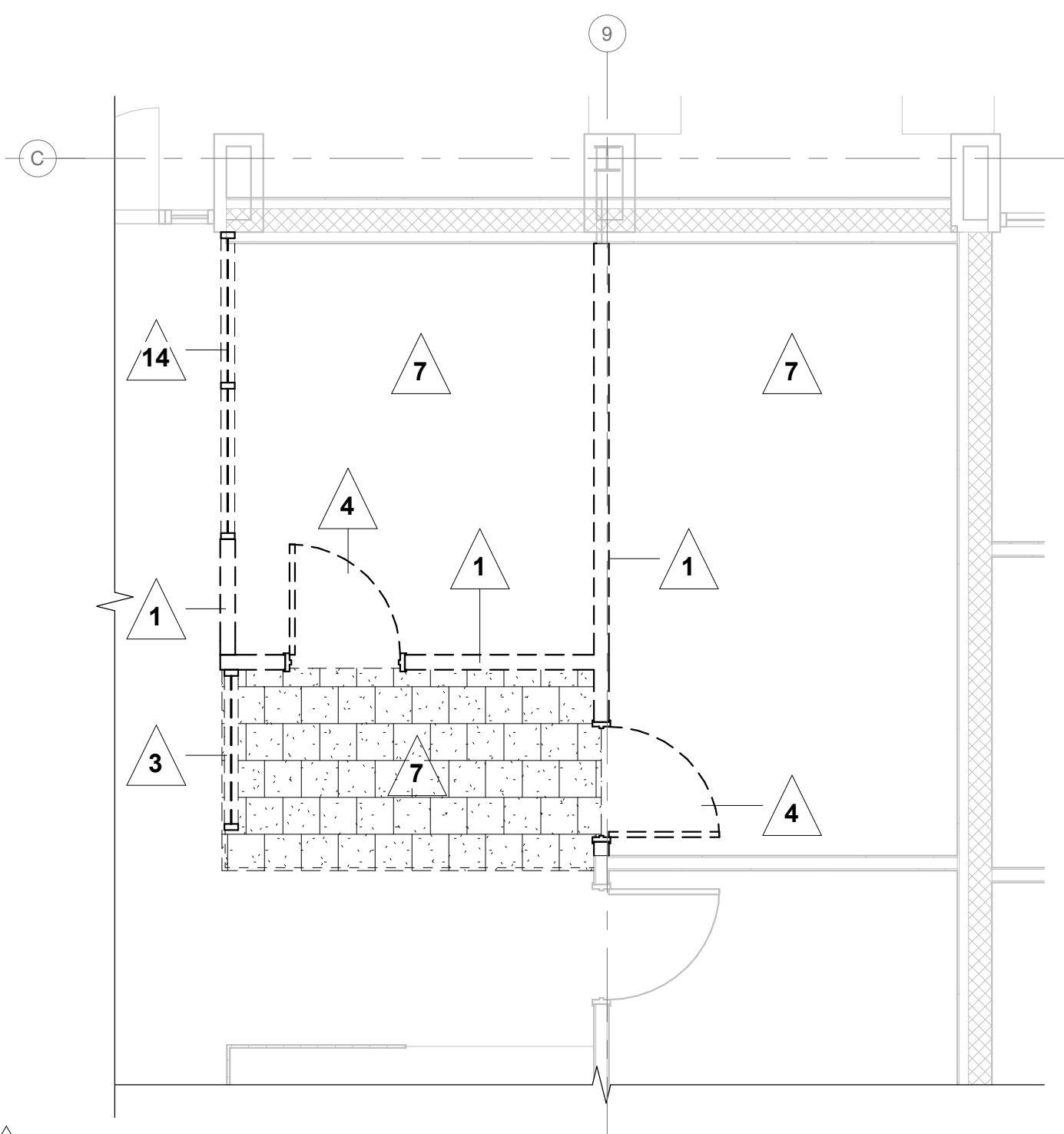
4 ALT 1 - REFLECTED CEILING PLAN
1/4" = 1'-0"



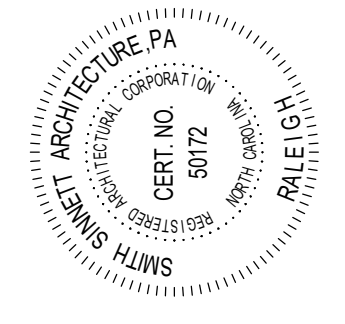
2 ALT 1 - REFLECTED CEILING PLAN DEMO
1/4" = 1'-0"



3 ALT 1 - NEW BREAKROOM PLAN
1/4" = 1'-0"



1 ALT 1 - DEMO PLAN
1/4" = 1'-0"

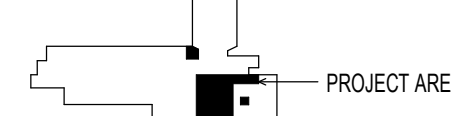


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Smith Sinnett Architecture, P.A. 2024

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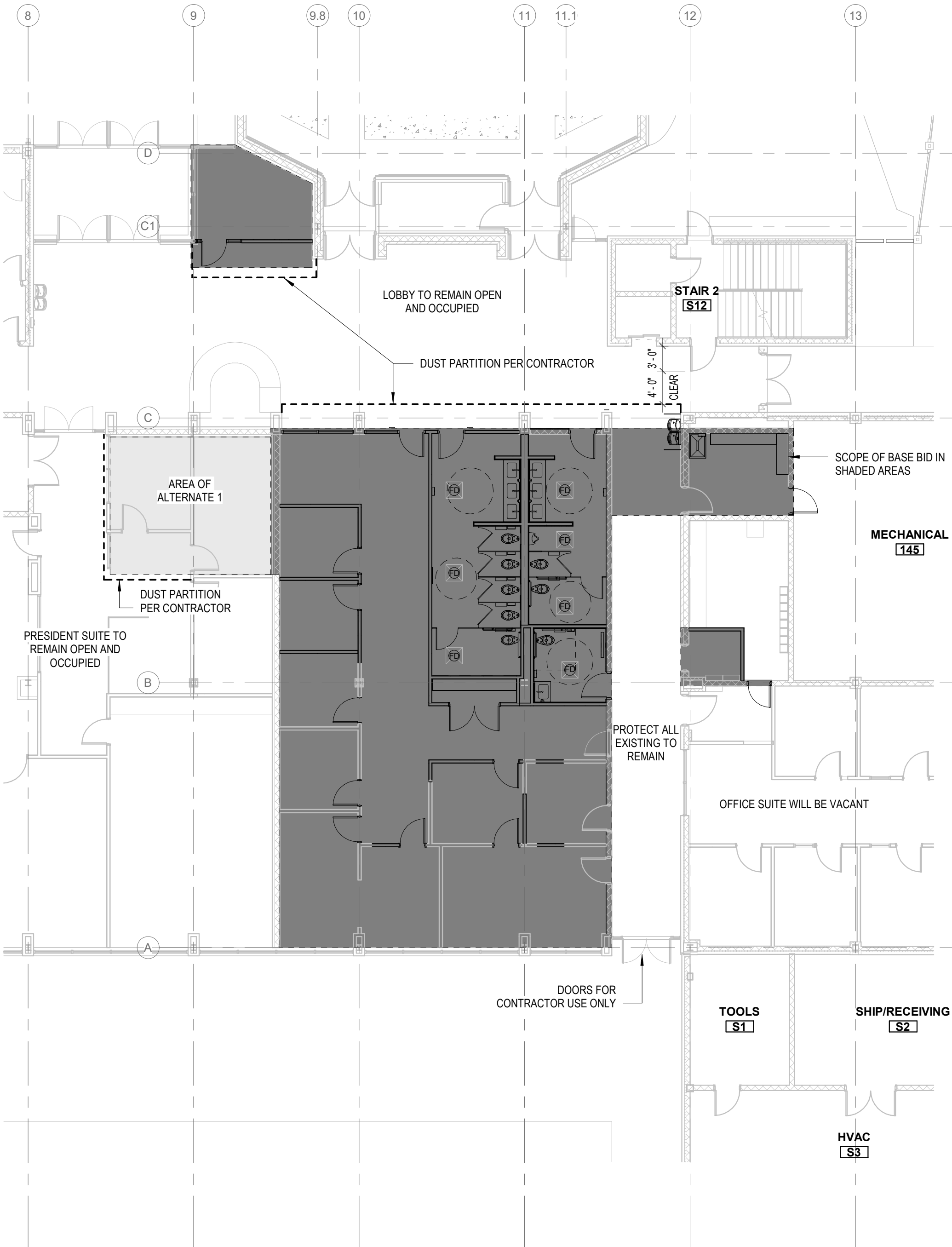
CARTERET COMMUNITY COLLEGE
McGEE BUILDING "ONE DOOR" RENOVATION - PHASE 1
3505 ARENDELL ST., MOREHEAD CITY, NC 28557

A	DATE	DESCRIPTION
12/18/2024	ADDENDUM 1	



DRAWN BY: LC, BS, MA
CHECKED BY: LC

ALTERNATE 1 - BREAKROOM



CONTRACTOR WORK AREA EXHIBIT

McGEE BUILDING "ONE DOOR" RENOVATION - PHASE 1
CARTERET COMMUNITY COLLEGE

2024009
12/18/2024

ELECTRICAL ABBREVIATIONS:

Table of electrical abbreviations including AF (AMP FUSE), AFF (ABOVE FINISHED FLOOR), AFG (ABOVE FINISHED GRADE), AHU (AIR-HANDLER UNIT), AIC (AMPERE INTERRUPTING CAPACITY), AT (AMP TRIP), ATS (AUTOMATIC TRANSFER SWITCH), AWG (AMERICAN WIRE GAUGE), BLDG (BUILDING), CU (CONDENSING UNIT), DISC (DISCONNECT), E.C. (ELECTRICAL CONTRACTOR), ECB (ENCLOSED CIRCUIT BREAKER), EHH (ELECTRIC HAND HOLE), EMT (ELECTRICAL METALLIC TUBING), G (GROUND), GFCI (GROUND FAULT CURRENT INTERRUPT), GRC (GALVANIZED RIGID CONDUIT), HP (HORSEPOWER), HVAC (HEATING, VENTILATION, AIR CONDITIONING), IG (ISOLATED GROUND), KVA (KILOVOLT AMPERE), KW (KILOWATT), MCA (MINIMUM CIRCUIT AMPACITY), MCB (MAIN CIRCUIT BREAKER), MDP (MAIN DISTRIBUTION PANEL), MIN (MINIMUM), MLO (MAIN LUG ONLY), MOCP (MAXIMUM OVERCURRENT PROTECTION), MSB (MAIN SWITCHBOARD), N (NEUTRAL), NEC (NATIONAL ELECTRIC CODE (NFPA 70)), NFPA (NATIONAL FIRE PROTECTION AGENCY), NIC (NOT IN CONTRACT), NL (NIGHTLIGHT), Ø (PHASE), P (POLE), PB (PULL BOX), PVC (POLYVINYL CHLORIDE), RCPT (RECEPTACLE), SCCR (SHORT CIRCUIT CURRENT RATING), SPEC (SPECIFICATIONS), SQ (SQUARE), TVSS (TRANSIENT VOLTAGE SURGE SUPPRESSION), TYP (TYPICAL), UON (UNLESS OTHERWISE NOTED), V (VOLTS), VIF (VERIFY IN FIELD), W (WATTS), WP (WEATHERPROOF), XFMR (TRANSFORMER)

LUMINAIRE SCHEDULE

Table with columns: CALLOUT, SYMBOL, DESCRIPTION, MOUNTING, MODEL, INPUT WATTS, COLOR, VOLTS, NOTE 1, NOTE 2, NOTE 3. Includes items like LED CONTEMPORARY ARCHITECTURAL LAY-IN, LED FLAT ACRYLIC LENS LAY-IN, 6" LITEFRAME ROUND DOWNLIGHT, 8' HIGH PERFORMANCE PENDANT, 8.5' HIGH PERFORMANCE RECESSED FIXTURE, 11' HIGH PERFORMANCE RECESSED FIXTURE, LED LOW PROFILE EMERGENCY LIGHT UNIT, LED EMERGENCY/EXIT COMBO.

PE

Table containing electrical panel data: ROOM, MOUNTING SURFACE, FED FROM UTILITY, NOTE, VOLTS 208Y/120V 3P 4W, BUS AMPS 225, NEUTRAL 100%, AIC 22,000, MAIN BKR 150, LUGS STANDARD. Includes a detailed circuit schedule table with columns for CKT #, CKT BKR, CIRCUIT DESCRIPTION, LOAD KVA (A, B, C), and a summary table for LIGHTING, LARGEST MOTOR, MOTORS, RECEPTACLES, CONTINUOUS, HEATING, and TOTAL LOAD.

NOTES:

1. EXISTING 20/2 BREAKER TO BE REPLACED BY (2) 20/1 BREAKERS

SWITCH SCHEDULE

Table with columns: CALLOUT, SYMBOL, NOTE 1, NOTE 2. Includes items like SINGLE POLE SWITCH, THREEWAY SWITCH, WALL OC.

EQUIPMENT CONNECTION SCHEDULE

Table with columns: CALLOUT, DESCRIPTION, SYMBOL, VOLTS, WIRE CALLOUT, NOTES. Includes items like DRINKING FOUNTAIN, EXHAUST FAN, HAND DRYER.

DATA SCHEDULE

Table with columns: CALLOUT, SYMBOL, NOTE 1, NOTE 2. Includes item DATA OUTLET.

RECEPTACLE SCHEDULE

Table with columns: CALLOUT, SYMBOL, VOLTS, NOTE 1, NOTE 2. Includes items like DUPLEX, DUPLEX GFCI COUNTER TOP, QUADRAPLEX.

REVISIONS

Table with columns: BY, NO., DATE, DESCRIPTION. Includes revision 1: 12/23/24, ADDENDUM 1.

ELECTRICAL COVER SHEET

CARTERET COMMUNITY COLLEGE MCGEE BUILDING

MOREHEAD CITY CARTERET COUNTY NORTH CAROLINA

OWNER: CARTERET COMMUNITY COLLEGE

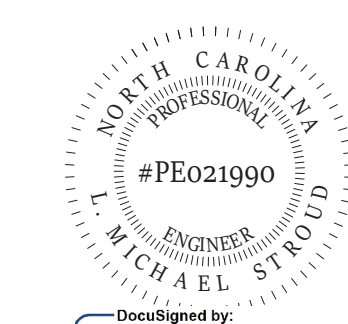
ADDRESS: 3505 ARENDELL STREET MOREHEAD CITY, NC 28557

PHONE:

DESIGNED: WGB DATE: 12/06/2024

DRAWN: WGB SCALE: AS NOTED

APPROVED: LMS SHEET E1 OF 4

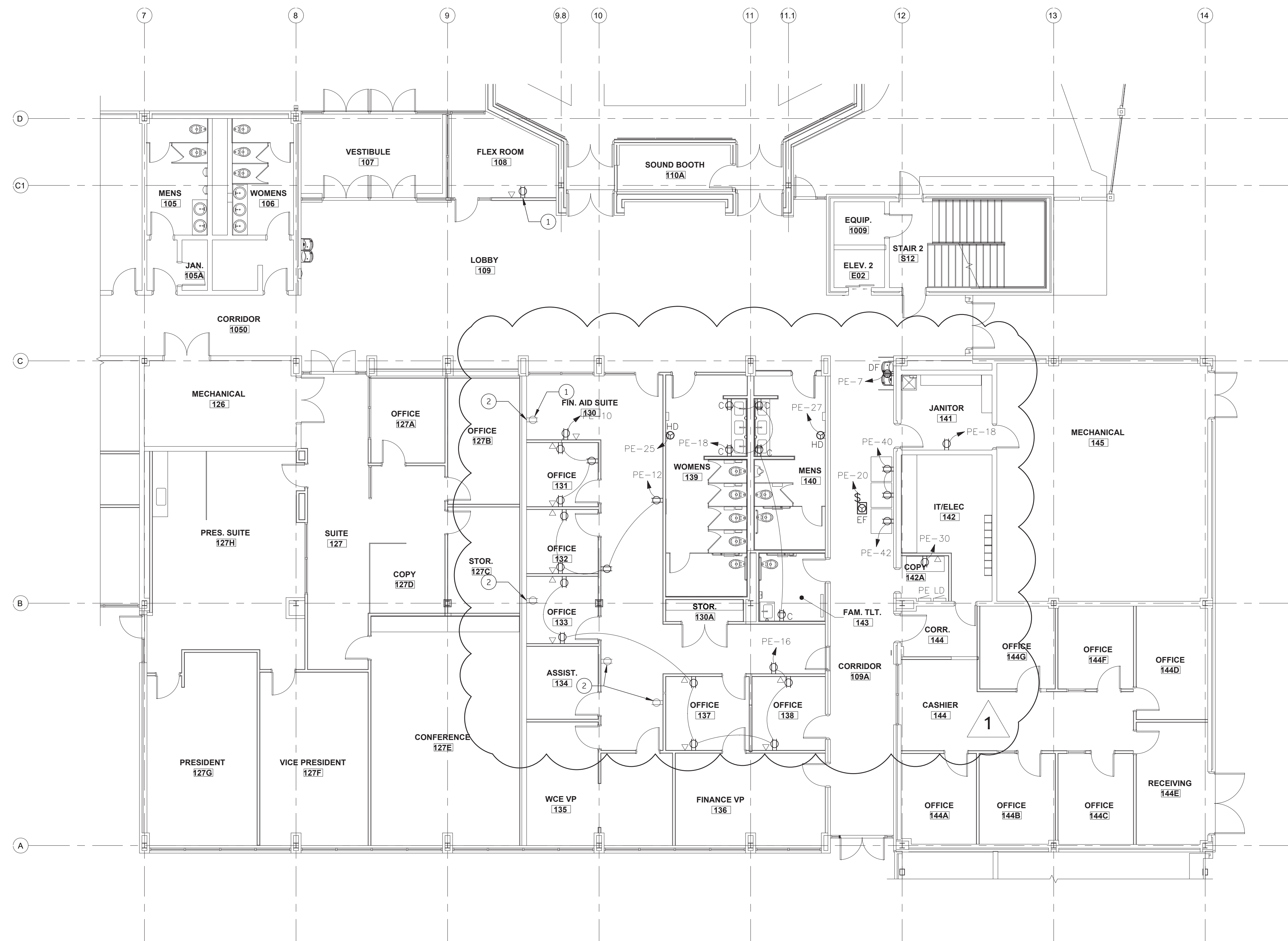


Designed by L. Michael Stroud 12/23/2024 L. MICHAEL STROUD, P.E.



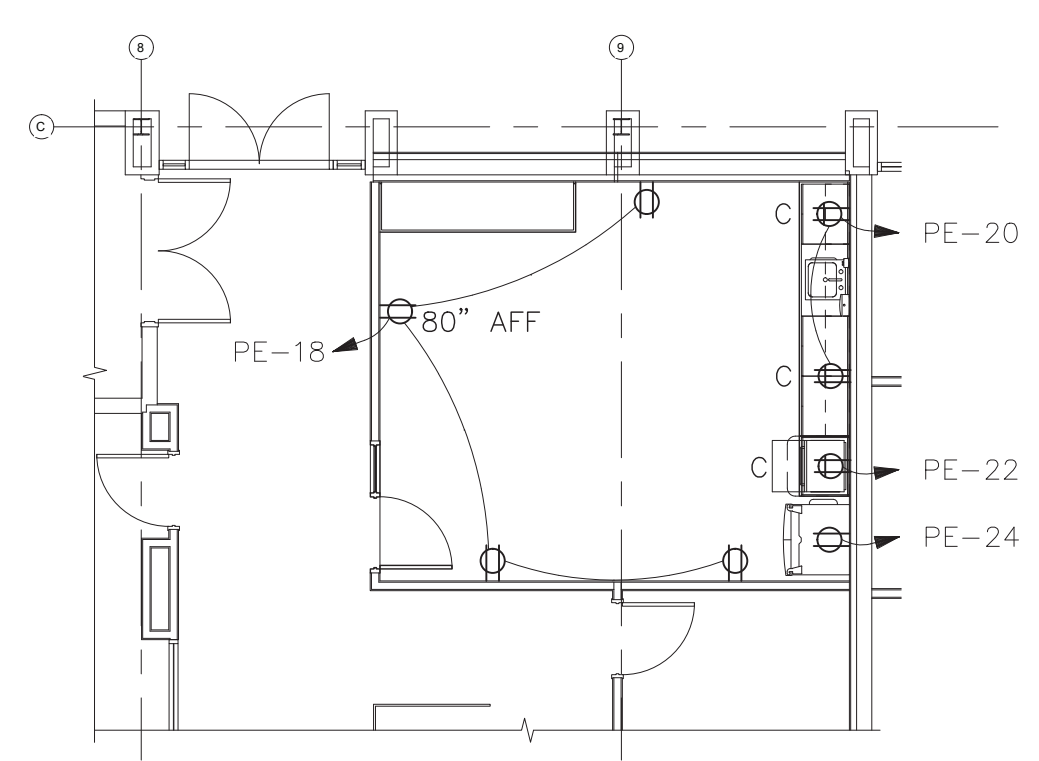
PROJECT NO.: PM3191-001

DRAWING NO.: 003



1
E3
POWER PLAN
SCALE: 1/8" = 1'-0"

- ELECTRICAL PLAN NOTES:**
1. REUSE EXISTING BRANCH CIRCUIT IN AREA TO FEED NEW RECEPTACLE.
 2. EXISTING RECEPTACLE TO REMAIN.
 3. STUB UP WALL WITH 1" CONDUIT UP TO CEILING. RECONNECT EXISTING CAT 5e CABLE.



2
E3
POWER PLAN - ALTERNATE 1
SCALE: 1/8" = 1'-0"

REVISIONS			
BY	NO.	DATE	DESCRIPTION
WGB	1	12/23/24	ADDENDUM 1

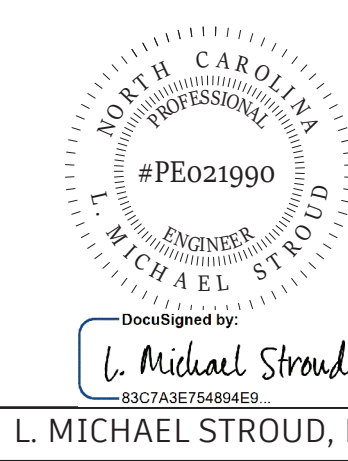
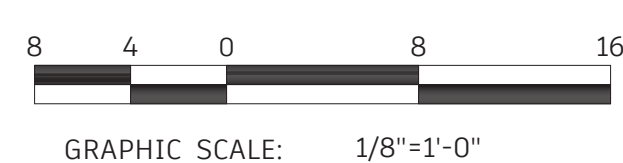
POWER PLAN

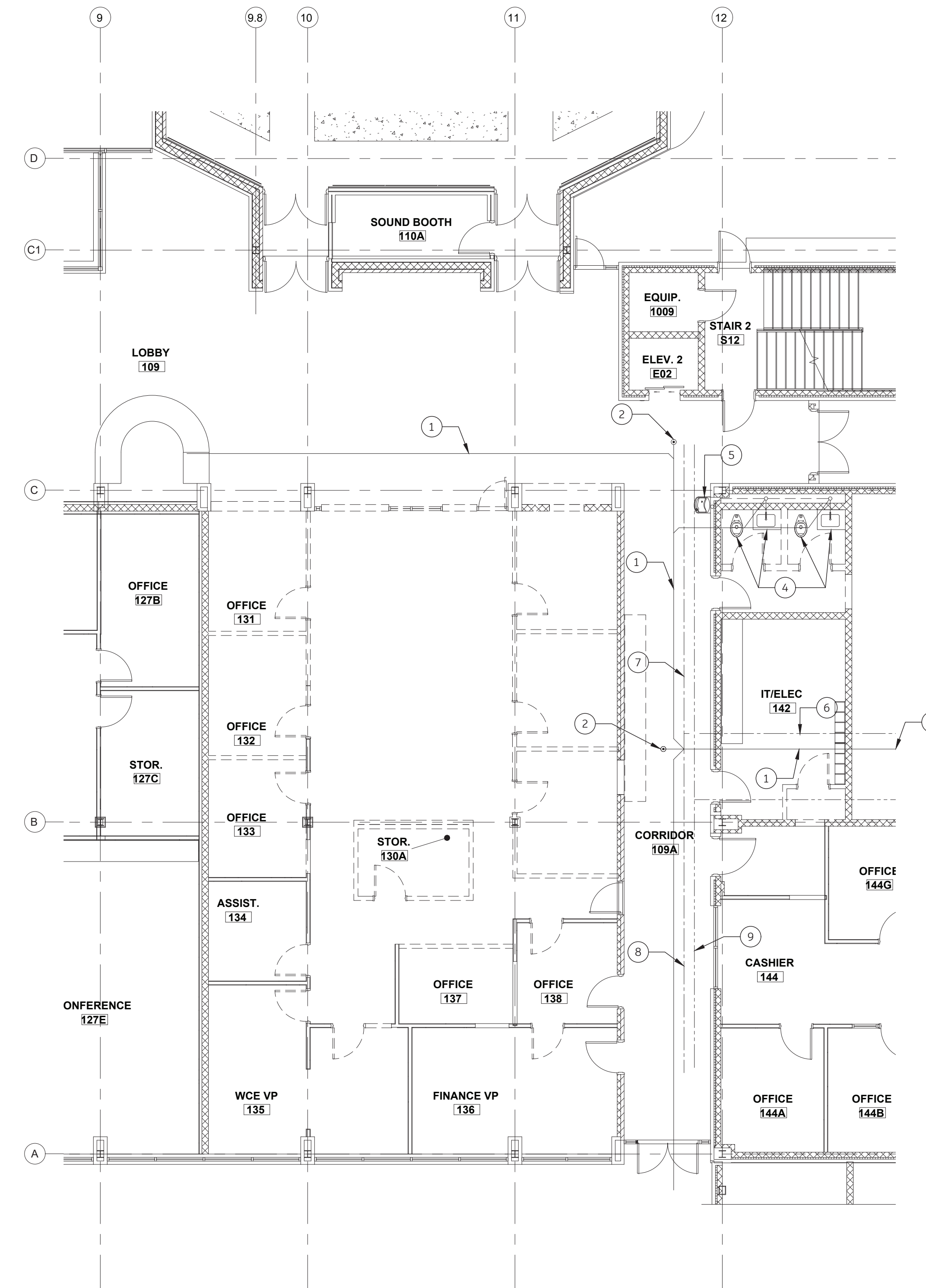
**CARTERET COMMUNITY COLLEGE
MCGEE BUILDING**

MOREHEAD CITY CARTERET COUNTY NORTH CAROLINA

OWNER: CARTERET COMMUNITY COLLEGE
ADDRESS: 3505 ARENDELL STREET
MOREHEAD CITY, NC 28557
PHONE:

DESIGNED: WGB	DATE: 12/06/2024
DRAWN: WGB	SCALE: AS NOTED
APPROVED: LMS	SHEET E3 OF 4





1
P1 PLUMBING EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

WASTE PLAN LEGEND

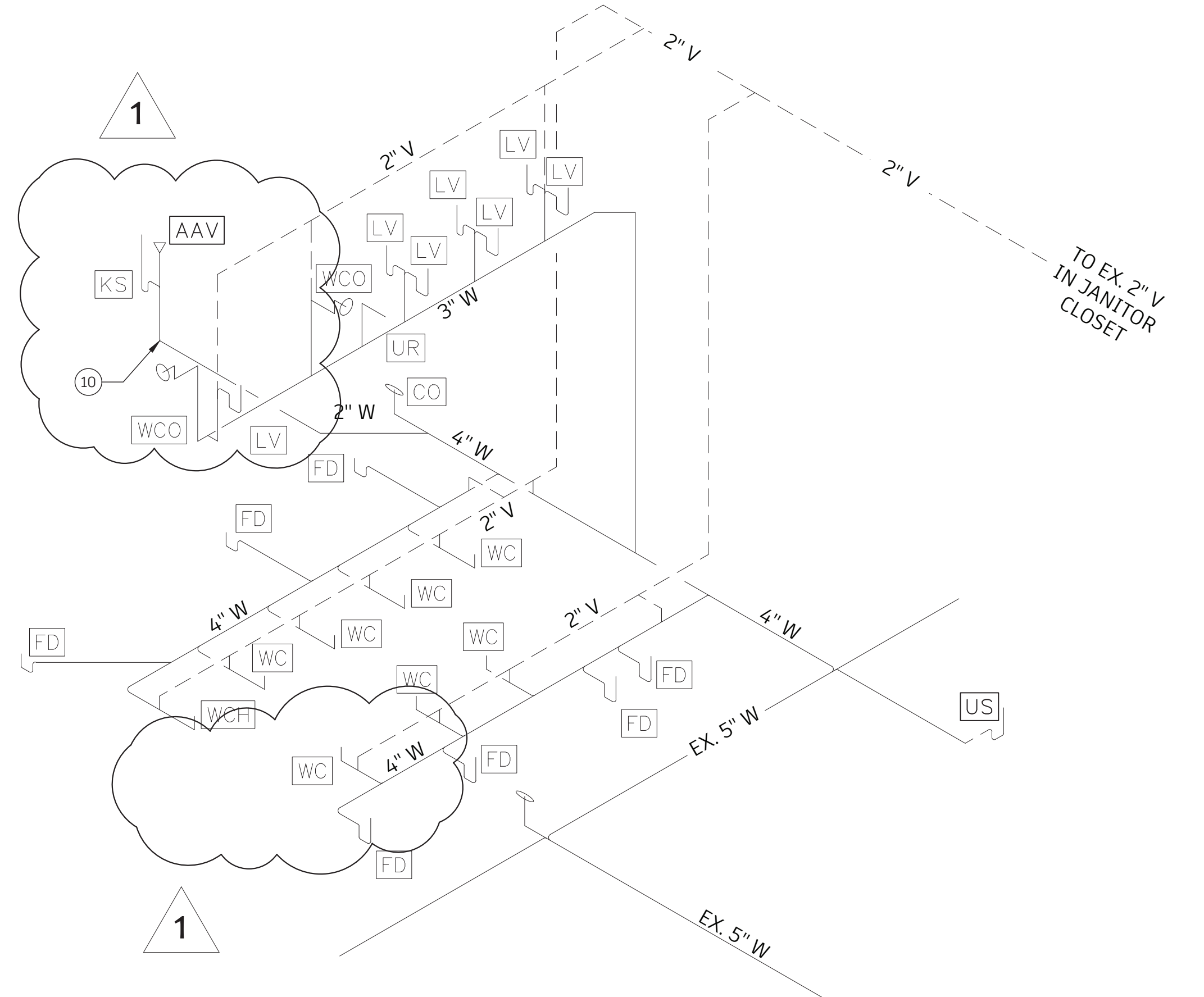
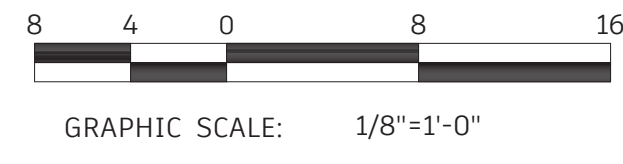
- 3"W — SANITARY WASTE PIPE
- 3"GW — SANITARY WASTE GREASE PIPE
- 2"FM — SANITARY WASTE FORCE MAIN PIPE
- 2"V — SANITARY WASTE VENT PIPE
- INV. PIPE INVERT
- TYP. TYPICAL
- VTR VENT THROUGH ROOF

WATER PLAN LEGEND

- 3/4"CW — POTABLE COLD WATER PIPE
- 3/4"HW — POTABLE HOT WATER PIPE
- 3/4"HHW — POTABLE HOT (140F) WATER PIPE
- ⊗ MANUAL BALL VALVE
- ▷ REDUCER
- TYP. TYPICAL

PLUMBING PLAN NOTES:

1. EXISTING 5" WASTE LINE.
2. EXISTING CLEANOUT TO REMAIN.
3. EXISTING 5"W CONTINUES TO EXISTING SEWER LIFT STATION.
4. REMOVE EXISTING TOILETS & LAVATORIES IN EXISTING BATHROOMS. CAP EXISTING WASTE & WATER LINES.
5. REMOVE & REPLACE EXISTING DRINKING FOUNTAIN.
6. EXISTING 3" DOMESTIC COLD WATER LINE.
7. EXISTING 2 1/2" DOMESTIC COLD WATER LINE.
8. EXISTING 2" DOMESTIC COLD WATER LINE.
9. EXISTING 1" HOT WATER LINE.
10. WASTE LINE TO SINK IN NEW BREAKROOM FOR ALTERNATE 1. STUB-UP WASTE LINE TO SINK AS PART OF BASE BID.



2
P1 WASTE ISOMETRIC
SCALE: NONE

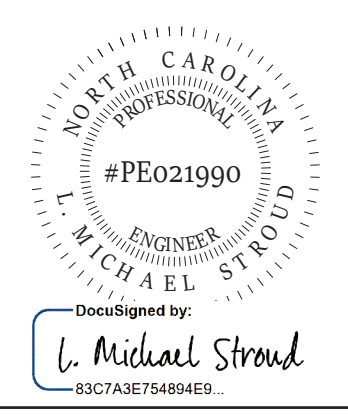
REVISIONS			
BY	NO.	DATE	DESCRIPTION
WGB	1	12/23/24	ADDENDUM 1

PLUMBING EX. CONDITIONS, DEMO. PLAN, & WASTE ISOMETRIC
CARTERET COMMUNITY COLLEGE
MCGEE BUILDING

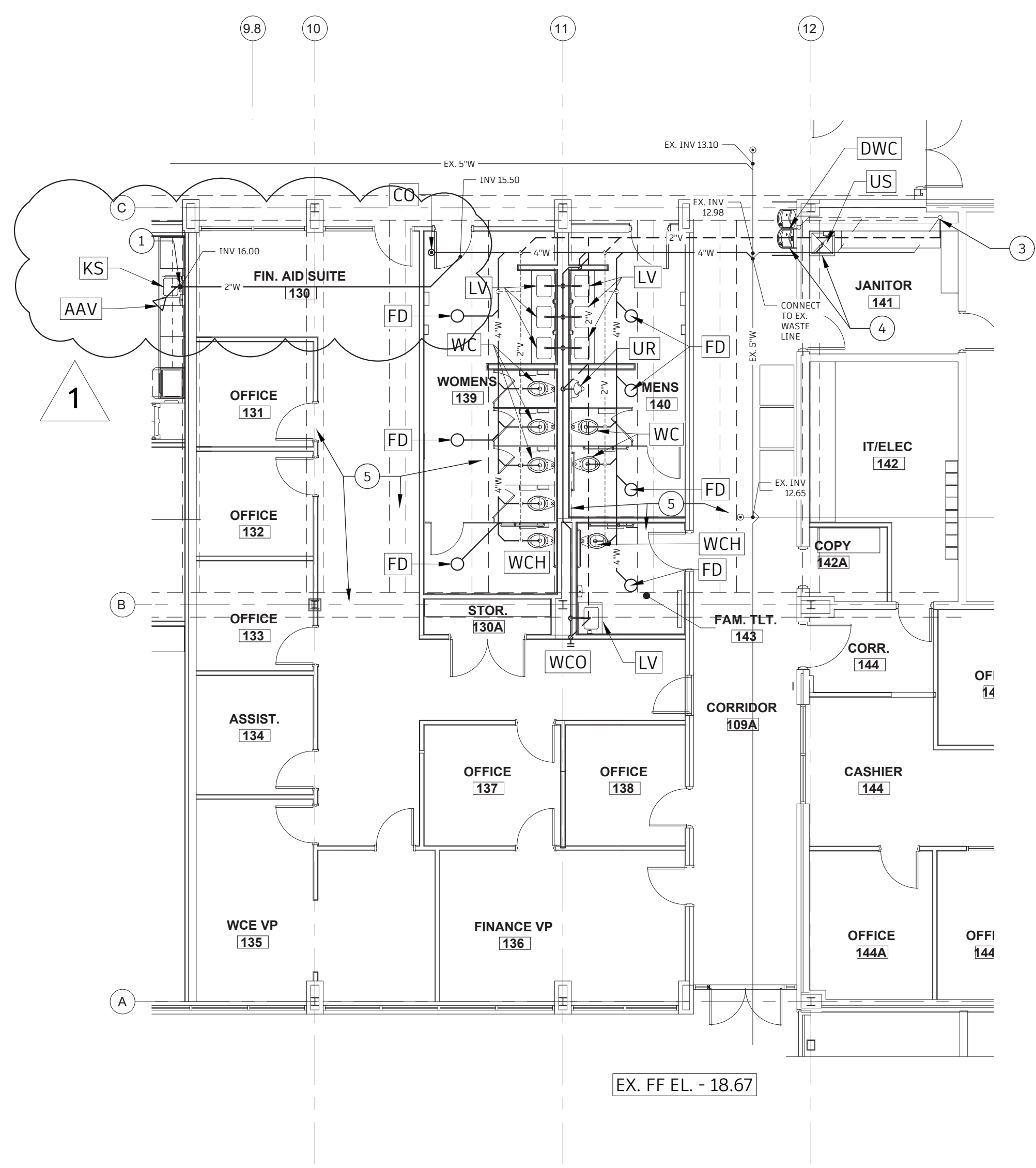
MOREHEAD CITY CARTERET COUNTY NORTH CAROLINA

OWNER: CARTERET COMMUNITY COLLEGE
ADDRESS: 3505 AREDELLE STREET, MOREHEAD CITY, NC 28557
PHONE: (252) 247-7479

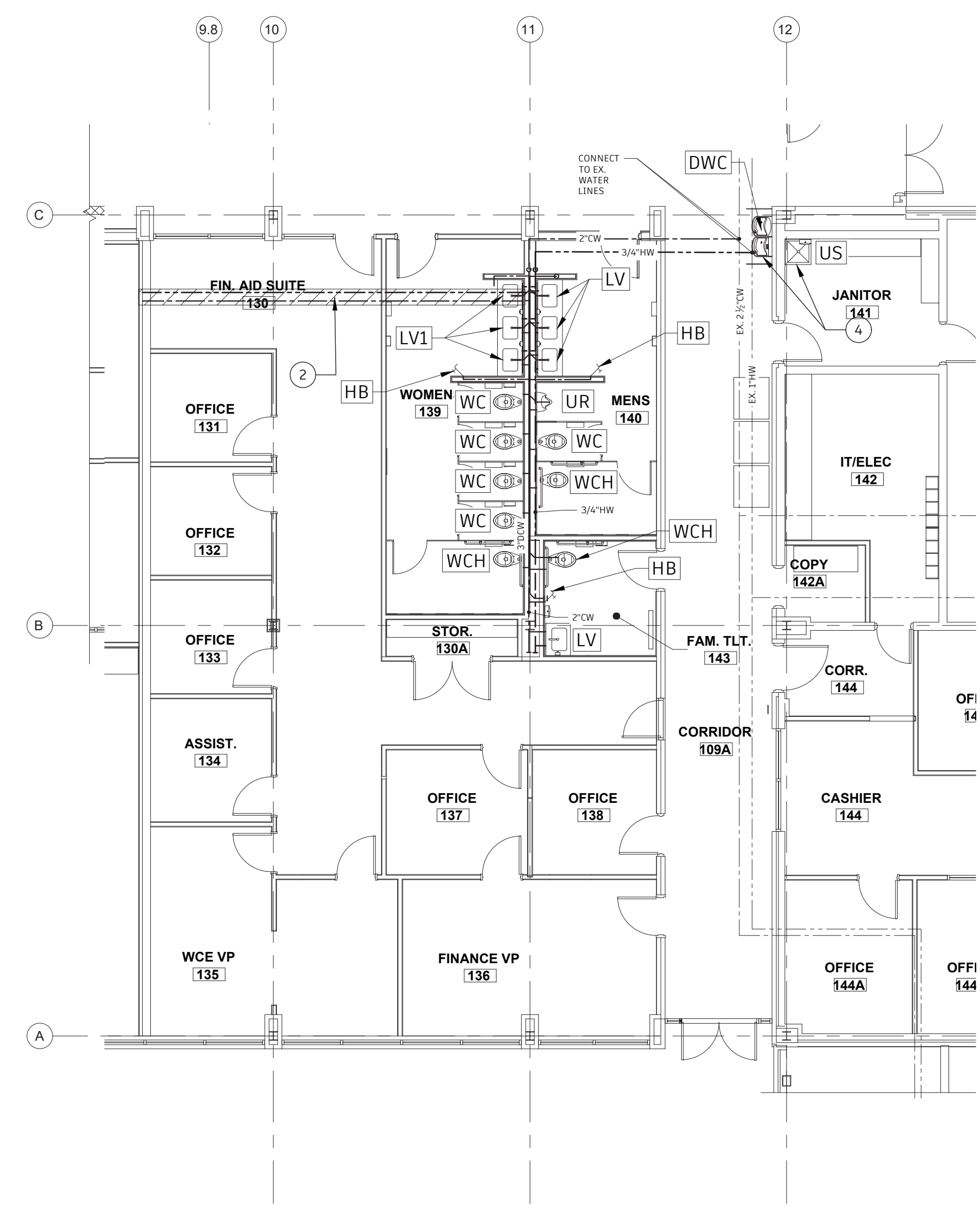
DESIGNED: WGB DATE: 12/06/2024
DRAWN: WGB SCALE: AS NOTED
APPROVED: LMS SHEET P1 OF 2



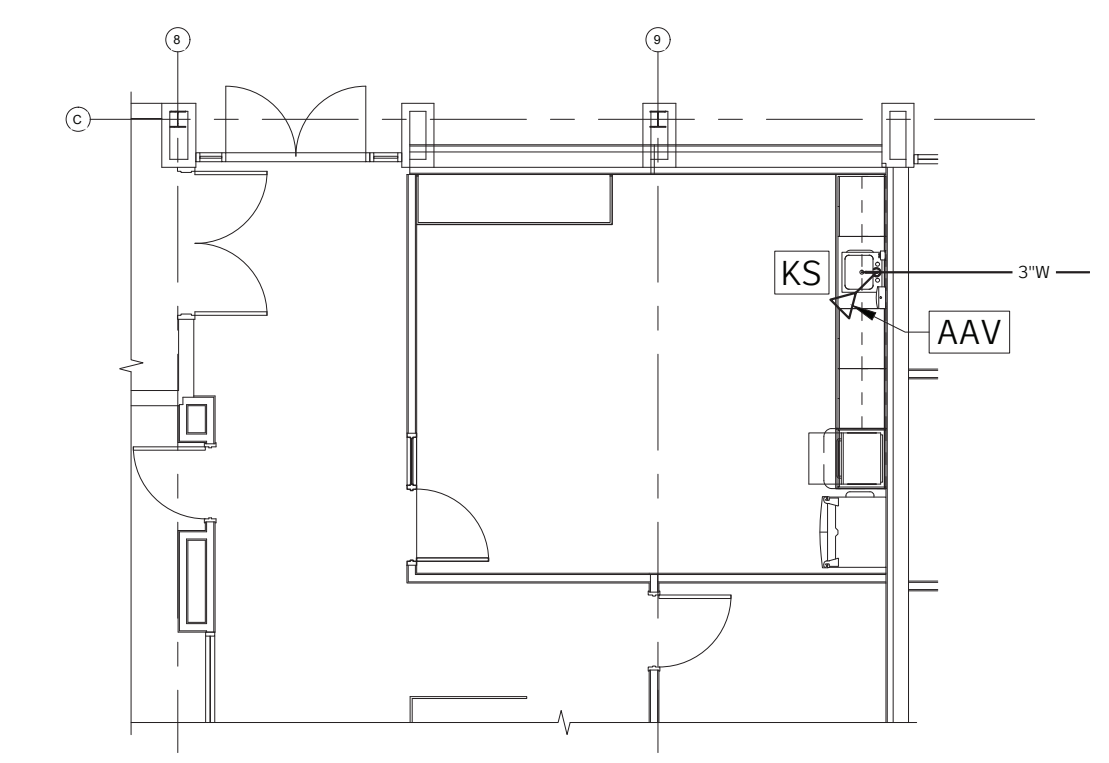
DocuSigned by:
L. Michael Stroud
12/23/2024
31673AE75484E8



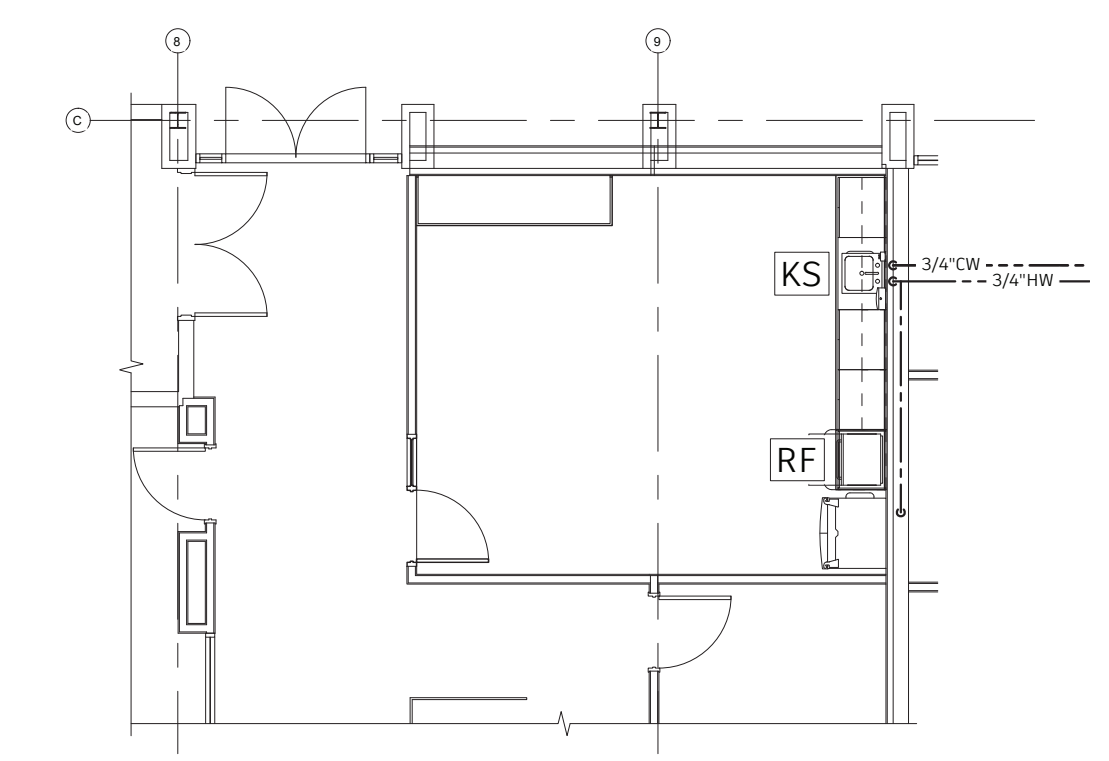
1 WASTE PLAN
SCALE: 1/8" = 1'-0"



2 WATER PLAN
SCALE: 1/8" = 1'-0"



3 WASTE PLAN - ALTERNATE 1
SCALE: 1/8" = 1'-0"

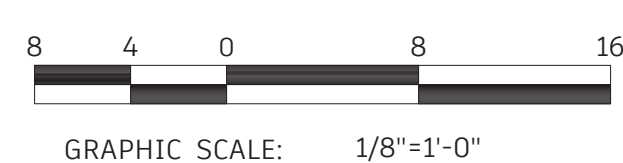


4 WATER PLAN - ALTERNATE 1
SCALE: 1/8" = 1'-0"

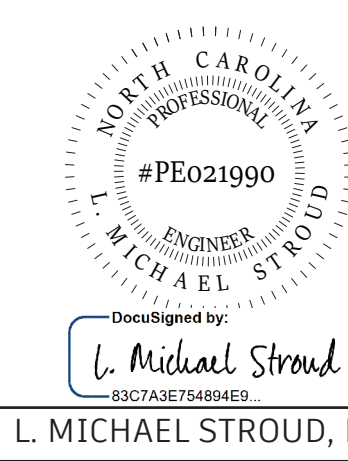
- PLUMBING PLAN NOTES:**
- WASTE LINE TO SINK IN NEW BREAKROOM FOR ALTERNATE 1. STUB-UP WASTE LINE TO SINK AS PART OF BASE BID.
 - 3/4" CW AND HW WATER LINES FOR ALTERNATE 1- BREAK ROOM LAVATORY AND REFRIGERATOR.
 - CONNECT NEW 2" V TO EXISTING 2" VENT. FIELD VERIFY LOCATION OF EXISTING.
 - NEW DRINKING WATER COOLER AND UTILITY SINK TO BE CONNECTED TO EXISTING WASTE, VENT, & WATER PIPING.
 - DASHED LINES INDICATE EXISTING 24" DEEP GRADE BEAMS.

PLUMBING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MAKE/MODEL	CONNECTION			WASTE	REMARKS
			CW	HW	SUPPLY STOP		
DWC	DRINKING WATER COOLER	SEE SPECIFICATIONS	1/2"	N/A	ANGLE VALVE	1 1/2"	WALL-MOUNTED, HI-LO INDOOR, ADA COMPLIANT, BOTTLE FILLER
LV	LAVATORY, ADA COMPLIANT	SEE SPECIFICATIONS	1/2"	1/2"	ANGLE VALVE	1 1/2"	ADA COMPLIANT
KS	KITCHEN SINK	SEE SPECIFICATIONS	1/2"	1/2"	ANGLE VALVE	1 1/2"	ADA COMPLIANT
UR	URINAL, ADA COMPLIANT	SEE SPECIFICATIONS	3/4"	N/A	ANGLE VALVE	2"	ADA COMPLIANT
WC	WATER CLOSET, FLUSH VALVE TYPE	SEE SPECIFICATIONS	1"	N/A	FLUSH VALVE W/ INTEGRAL SCREWDRIVER STOP	4"	ADA COMPLIANT
WCH	WATER CLOSET, FLUSH VALVE TYPE, ADA COMPLIANT	SEE SPECIFICATIONS	1"	N/A	FLUSH VALVE W/ INTEGRAL SCREWDRIVER STOP	4"	ADA COMPLIANT
US	UTILITY SINK	SEE SPECIFICATIONS	1/2"	1/2"	ANGLE VALVE	2"	

PLUMBING SPECIALTIES SCHEDULE							
MARK	DESCRIPTION	MAKE/MODEL	WATER CONNECTION			WASTE ROUGH-IN	REMARKS
			CW	HW	SUPPLY STOP		
AAV	AIR ADMITTANCE VALVE	SEE SPECIFICATIONS	N/A	N/A	N/A	N/A	
CO	CLEANOUT	SEE SPECIFICATIONS	N/A	N/A	N/A	MATCH WASTE LINE	
FD	FLOOR DRAIN	SEE SPECIFICATIONS	N/A	N/A	N/A	MATCH WASTE LINE	
HB	HOSE BIB	SEE SPECIFICATIONS	3/4"	N/A	N/A	N/A	
WCO	WALL CLEANOUT	SEE SPECIFICATIONS	N/A	N/A	N/A	MATCH WASTE LINE	



PROJECT NO.: PM3191-001
DRAWING NO.: 009



12/23/2024

L. Michael Stroud, P.E.

REVISIONS			
BY	NO.	DATE	DESCRIPTION
WGB	1	12/23/24	ADDENDUM 1

PLUMBING PLAN
CARTERET COMMUNITY COLLEGE
MCGEE BUILDING

MOREHEAD CITY CARTERET COUNTY NORTH CAROLINA

OWNER: CARTERET COMMUNITY COLLEGE
ADDRESS: 3505 ARENDELL STREET
MOREHEAD CITY, NC 28557
PHONE:

DESIGNED: WGB	DATE: 12/06/2024
DRAWN: WGB	SCALE: AS NOTED
APPROVED: LMS	SHEET P2 OF 2

STROUD ENGINEERING, P.A.
422 HIGHWAY 24
MOREHEAD CITY, NC 28557
(252) 247-7479 LICENSE NO. C-0647